



**CITY COUNCIL AGENDA  
MONDAY, OCTOBER 1, 2018  
7:00 P.M.**

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. ADDITIONS OR CORRECTIONS TO AGENDA
5. DISCUSSION FROM THE FLOOR
6. PRESENTATION
  - A. Mayor's Proclamation – Foreign Exchange Student Week – Honorary Citizen  
Ana Arquero Alasonso (Spain)
7. **CONSENT AGENDA:**
  - A. Approval of Minutes – September 17, 2018
  - B. General Operations Disbursements (August) #18-15 \$416,523.05
  - C. Right of Way Application – Park Construction Co.
  - D. Contractor's Licenses
  - E. Correspondence
8. PUBLIC WORKS REPORT
9. CODE ENFORCEMENT REPORT
10. NEW BUSINESS
  - A. Authorize Participation in Anoka County Economic Development Initiative
11. ORDINANCES AND/OR RESOLUTIONS
  - A. Resolution 18-39 Approving A Variance To Allow A Driveway Expansion at 359 Manor Drive NE
  - B. Resolution 18-40 Approving A Lot Size Variance For Lot 1 Block 1 Pride Rock Addition To Allow Construction Of A Twin Home
  - C. Resolution 18-41 Approving A Lot Size Variance For Lot 2 Block 1 Pride Rock Addition To Allow Construction Of A Twin Home
  - D. Resolution 18-42 Approving A Conditional Use Permit For Lot 1 Block 1 Pride Rock Addition to Permit The Construction Of A Two Family Dwelling
  - E. Resolution 18-43 Approving A Conditional Use Permit For Lot 2 Block 1 Pride Rock Addition to Permit The Construction Of A Two Family Dwelling
  - F. Resolution 18-44 Approving Conditional Use Permit and Site Plan for ProCourier
12. ENGINEER'S REPORT
13. ATTORNEY'S REPORT
14. REPORTS
  - A. Beyond the Yellow Ribbon Report
15. OTHER
  - A. Administrator Reports
    - A. 81<sup>st</sup> Avenue Road Closure
16. ADJOURN

**SEE REVERSE SIDE FOR RULES FOR PUBLIC HEARINGS AND  
DISCUSSION FROM THE FLOOR**

## **RULES FOR DISCUSSION FROM THE FLOOR AND PUBLIC HEARINGS**

### **DISCUSSION FROM THE FLOOR**

- Discussion from the floor is limited to three minutes per person. Longer presentations must be scheduled through the Administrator, Clerk/Treasurer's office.
- Individuals wishing to be heard must sign in with their name and address. Meetings are video recorded so individuals must approach the podium and speak clearly into the microphone.
- Council action or discussion should not be expected during "Discussion from the Floor." Council may direct staff to research the matter further or take the matter under advisement for action at the next regularly scheduled meeting.

### **PUBLIC HEARINGS**

The purpose of a public hearing is to allow the City Council to receive citizen input on a proposed project. This is not a time to debate the issue.

The following format will be used to conduct the hearing:

- The presenter will have a maximum of 10 minutes to explain the project as proposed.
- Councilmembers will have the opportunity to ask questions or comment on the proposal.
- Citizens will then have an opportunity to ask questions and/or comment on the project. Those wishing to comment are asked to limit their comments to 3 minutes. In cases where there is a spokesperson representing a group wishing to have their collective opinions voiced, the spokesperson should identify the audience group he/she is representing and may have a maximum of 10 minutes to express the views of the group.
- People wishing to comment are asked to keep their comments succinct and specific.
- Following public input, Councilmembers will have a second opportunity to ask questions of the presenter and/or citizens.
- After everyone wishing to address the subject of the hearing has done so, the Mayor will close the public hearing.
- The City Council may choose to take official action on the proposal or defer action until the next regularly scheduled Council meeting. No further public input will be received at that time.



MAYOR'S PROCLAMATION  
FOREIGN EXCHANGE STUDENT WEEK – OCTOBER 1, 2018  
HONORARY CITIZEN – ANA ARQUERO ALSONSO

WHEREAS, our communities' greatest asset is our youth; and

WHEREAS, American Field Service (AFS) organizes and administers a program which brings students from around the world to our community; and

WHEREAS, this interchange of culture and philosophy contributes to the education and maturation of our youth in many and varied ways; and

WHEREAS, it is the desire of the City of Spring Lake Park to show its appreciation and support to our distinguished guests.

THEREFORE, I, Cindy Hansen, Mayor of the City of Spring Lake Park, hereby proclaim the week of October 1, 2018 as American Field Service Week in honor of Ana Arquero Alsonso.

FURTHER, I proclaim that Ana be made an honorary citizen of the City of Spring Lake Park for the duration of her stay.

In witness whereof, I have hereunto set my hand and caused the seal of the City of Spring Lake Park to be affixed this first day of October, 2018.



\_\_\_\_\_  
Cindy Hansen, Mayor

ATTEST:

\_\_\_\_\_  
Daniel Buchholtz, City Administrator





## OFFICIAL PROCEEDINGS

Pursuant to due call and notice thereof, the regularly scheduled meeting of the Spring Lake Park City Council was held on September 17, 2018 at the Spring Lake Park Community Center, 1301 81st Avenue N.E., at 7:00 P.M.

### 1. Call to Order

Mayor Hansen called the meeting to order at 7:00 P.M.

### 2. Roll Call

Members Present: Councilmembers Nelson, Wendling, Delfs, Goodboe-Bisschoff and Mayor Hansen

Members Absent: None

Staff Present: Public Works Director Randall; Police Chief Ebeltoft; Building Official Brainard; Parks and Recreation Director Rygwall; Engineer Gravel; Attorney Thames; Administrator Buchholtz and Executive Assistant Gooden

Visitors: Karla Stevens, 593 Ione Avenue NE, Spring Lake Park  
Paddy Jones, Ham Lake

### 3. Pledge of Allegiance

### 4. Additions or Corrections to Agenda

Councilmember Goodboe-Bisschoff asked that Discussion From The Floor be added to the agenda. It was added as Item 4A.

Administrator Buchholtz requested that Item 13A., Resolution 18-38 Resolution Approving Purchase Agreement and Authorizing Mayor and Administrator, Clerk/Treasurer To Execute Documents Facilitating The Transfer Of 525 Osborne Road NE From The City Of Spring Lake Park to Interstate LLC, be added to the agenda.

#### 4 A. Discussion From The Floor

Karla Stevens, 593 Ione Avenue NE, thanked the City Council for their approval on Ordinance 447 Amending Zoning Ordinance Relating to Yard; Setbacks. She stated that with the approval of the ordinance her driveway can now be repaired without the need for her to apply for a variance to make it safer and expressed that she feels this will assist many other residents in their driveway concerns.

Ms. Stevens offered a reminder to candidates during election season. She asked that the candidates be polite and ask for permission to leave campaign materials with the residents.

### 5. Consent Agenda:

Mayor Hansen reviewed the following Consent Agenda items:

- A. Approval of Workshop Minutes – August 13, 2018 and September 10, 2018
- B. Approval of Minutes – September 4, 2018
- C. Resolution 18-37 Certifying Delinquent Accounts – Anoka County

- D. Contractor's Licenses
- E. Correspondence

Councilmember Goodboe-Bisschoff requested that a correction be made to the September 4, 2018 minutes regarding the cost of the rain garden referenced on page 3. She stated that it should read \$2,000 not \$200. Staff agreed and will make the correction.

Councilmember Goodboe-Bisschoff stated that the minutes from the August 13, 2018 Workshop are inaccurate account of what occurred at the workshop. She stated that she would like the minutes amended to reflect more accurate information from the August 13, 2018 workshop. Administrator Buchholtz stated that the minutes of workshops are a summary of the meetings and conversations that took place during the workshop that had no relevance to a business item are not included in the minutes.

Mayor Hansen stated that the workshop sessions are a place where ideas and opinions are exchanged. She stated that she does not want participants of the workshop sessions to be afraid of what is said and to continue bring their ideas and recommendation to the workshop sessions.

MOTION BY COUNCILMEMBER GOODBOE-BISSCHOFF TO AMEND AUGUST 13, 2018 WORKSHOP SESSION MINUTES. ROLL CALL VOTE: COUNCILMEMBERS NELSON-NAY; WENDLING-NAY; DELFS-NAY; MAYOR HANSEN-NAY; COUNCILMEMBER GOODBOE-BISSCHOFF – AYE. MOTION FAILED.

MOTION BY COUNCILMEMBER WENDLING APPROVING THE CONSENT AGENDA. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

#### 6. Police Report

Police Chief Ebeltoft reviewed the August 2018 department statistics.

Chief Ebeltoft reported that the Police Department responded to five hundred thirty six calls for service for the month of August 2018 compared to five hundred eighty two calls for service in August 2017.

Chief Ebeltoft reported that Investigator Baker reported handling a caseload of fifty-four cases for the month of August 2018. He stated that Investigator Baker noted that some of the cases that he investigated this month included but were not limited to Domestic Assaults; 1<sup>st</sup>, 3<sup>rd</sup> and 4<sup>th</sup> degree burglaries, terroristic threats and a motor vehicle theft case.

Chief Ebeltoft reported, in addition to addressing the day-to-day operations of the Department, he attended numerous meetings throughout the month representing Spring Lake Park Police Department and the City of Spring Lake Park.

Councilmember Nelson requested that Chief Ebeltoft review the recent reports of burglaries in the city. Chief Ebeltoft reported that there has been an increase in home burglaries. He reminded residents to lock their doors, be sure that garage doors are closed and to leave lights on.

Councilmember Goodboe-Bisschoff inquired if the burglaries are taking place in a specific location. Chief Ebeltoft reported that there is no common geographical area. He stated that the incidents have typically occurred during the overnight hours.

## 7. Parks and Recreation Report

Parks and Recreation Director Rygwall reported that the Parks and Recreation Commission met and discussed their participation with the concession sales at the softball tournaments and the color choices for the new gazebo at Triangle Park.

Ms. Rygwall reviewed the monthly department statistics and the summer program statistics. She reported that the number of participants remained the same throughout the summer, which has never occurred in previous years. She reported that the softball season that was co-sponsored with Biffs Sports Bar was successful again this year.

Ms. Rygwall reported that the Spring Lake Park School District Community Education will allow for quarterly program fliers to be distributed through the classrooms. She reported that there would not be an online fee for the city to advertise the programs. She reported that classes from the fall brochure are filling fast. She stated that the new light poles have been installed at Triangle Park and will be functioning by next week.

Councilmember Delfs inquired if she had reported that 820 children attended the drop in summer program. She stated that was correct and noted how valuable the program is. She explained that many grandparents use the program for their grandchildren who might be staying in the area during the daytime hours.

## 8. New Business

### A. Approval of Parking Lot Lease

Administrator Buchholtz provided a copy of the Parking Lot Lease between the City of Spring Lake Park and McClure Properties LLC to the Council. He stated that the lease is for 10 years at an annual lease rate of \$650.00 per month.

Administrator Buchholtz stated that the lease calls for the City to maintain the parking lot over the term of the lease, including routine maintenance, snow removal and grass mowing. He stated that McClure Properties LLC will carry the insurance on the parking lot and will indemnify, defend and hold the City harmless from and against any and all claims associated with the use of the parking lot. He stated that in addition, the cost of repair of any extraordinary damage to the parking lot caused as a result of the McClure Properties LLC's use of the property shall be the responsibility of McClure Properties LLC.

Administrator Buchholtz stated that if McClure Properties LLC violates the lease and does not cure the default within 30-day period, the City is able to collect all remaining rent outstanding and all rent scheduled to be due during the remainder of the term of the lease. He stated if the invoice is not paid, the City may assess the tenants property. He stated that this provision provided the City with a security that its investment in the parking lot will be recouped.

Administrator Buchholtz reported that the City will install signs restricting parking in the parking lot to those working or visiting the strip mall and limiting parking hours to 6 AM to 10 PM. He stated that enforcement of those parking restrictions is the responsibility of McClure Properties LLC.

Administrator Buchholtz provided the following budget for the parking lot project:

<u>Revenue</u>	<u>Expenses</u>	
Lease Revenue \$78,000.00	Construction (Perkins)	\$58,281.00
	Construction (City)	\$ 2,500.00
	Engineering (est)	\$ 3,969.00
	Legal (est)	\$ 1,000.00
	Signage	\$ 750.00
	Fence	\$ 2,500.00
	City Maintenance	<u>\$ 9,000.00</u>
<b>TOTAL</b>		<b>\$78,000.00</b>

Councilmember Goodboe-Bisschoff inquired the length of time before the parking lot would need to be resealed. Mr. Randall stated that the parking lot could be resealed with the next seal coat project in the area within five years. He stated that the parking lot striping would be completed by the City.

Mayor Hansen inquired if the resealing and striping would be included in the City Maintenance portion of the expenses. Administrator Buchholtz confirmed.

MOTION MADE BY MAYOR HANSEN TO APPROVE APPROVAL OF PARKING LOT LEASE. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

#### B. Triangle Park Gazebo Footing Installation

Parks and Recreation Director Rygwall reported that the gazebo has been ordered and in approximately 10 weeks it should be ready for installation. She stated that when the City first planned to purchase the gazebo, the Public Works Department felt they could do the installation however, with their schedule so full, they do not have the time to add additional projects. She explained that in speaking with Public Works Director Randall, he would prefer to have Game Time install the gazebo footings. She reported that he reviewed their quote of \$5,542.00 for footing installation, which was listed as an option on the installation quote and approved by Council, and felt it was reasonable.

Ms. Rygwall stated that the cost of the footings will need to be added to the cost for Game Time to install. She provided an updated quote to the Council. She stated the updated quoted price for installation from Game Time, including the footings, is \$25,393.00 with the funds to come from the Park Acquisition and Improvement Fund.

Councilmember Nelson inquired if the funds were part of the development project. Administrator Buchholtz stated that the funds are the park dedication funds that will be used for the project.

MOTION MADE BY MAYOR HANSEN TO APPROVE TRIANGLE PARK GAZEBO FOOTING INSTALLATION. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

#### C. Conditional Approval for Building Permit Issuance Agreement for Public Storage

Administrator Buchholtz reported that on April 2, 2018, the City Council granted conditional site plan approval to Public Storage for the construction of a three story climate controlled storage facility on their property at 7807 Highway 65 NE. He stated that one of the conditions of site plan approval was for Public Storage to submit a formal plat for the property. He reported that the City received a call from Public Storage informing

the City that they will not be able to record the plat in the timeframe that would allow them to begin construction this Fall and have asked the City for some flexibility in this requirement.

Administrator Buchholtz reported that to accommodate this request, staff has developed an Agreement for Conditional Approval of Building Permit. He stated that under this agreement, staff would be able to grant the building permit. He stated that if Public Storage does not file the plat within 180 days, the City has the right to withhold the "Certificate of Occupancy" for the property, meaning the property owner cannot use the property until the plat is filed. He stated that Public Storage can request one 90-day extension of this requirement, but the City has sole discretion on whether to grant the extension.

Administrator Buchholtz reported that staff believes that this is a reasonable accommodation to keep the project on track while protecting the City's interests.

MOTION MADE BY COUNCILMEMBER NELSON TO APPROVE BUILDING PERMIT ISSUANCE AGREEMENT WITH CONDITIONS FOR PUBLIC STORAGE. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

#### 9. Engineer's Report

Engineer Gravel reported that the Bituminous Trail Maintenance has started and will be completed by end of the week of September 24, 2018. He reported that a preconstruction conference was held on September 17, 2018 for the Wells 4 and 5 construction project.

#### 10. Attorney's Report

Attorney Thames reported that he has been working on closing documents for properties located at 525 Osborne Road and 8059 Highway 65 NE. He reported that he has reviewed the parking lot lease and well maintenance contracts as well.

#### 12. Administrator Reports

Administrator Buchholtz reported that the temporary certificate of occupancy for the Legends of Spring Lake Park has been issued. He stated that this will allow for the Legends staff to move into their office in the building.

Administrator Buchholtz reported that Hy-Vee has submitted their building permit application for the shell of the building. He stated that staff and Hy-Vee is working with MnDOT on the access from 81<sup>st</sup> Avenue and Highway 65.

Administrator Buchholtz stated that staff has been working on citizen complaints regarding a property on Monroe Street NE. He stated that garbage, debris has been collecting on the property, and the executor of the estate is seeking help in cleaning up the property. He stated that staff feels that the City can assist with the cleanup if the property owner inquires. He stated the cost associated with this could be assessed to the property.

Councilmember Wendling inquired if the property is vacant. Administrator Buchholtz stated that it is.

Councilmember Nelson noted that there is a huge amount of back taxes on the property and inquired if the City would be protected so that payment would be made to the City for the clean up. Administrator Buchholtz stated that he is confident that the City is protected and payment would be received.

Mayor Hansen stated that she is concerned for the health of the neighborhood and feels that the City should provide assistance for the cleanup if asked.

Councilmember Goodboe-Bisschoff inquired if there is a bank or mortgage company involved with the property. Administrator Buchholtz stated that there are liens on the property so the payment could take longer for payment because of those reasons.

Councilmember Goodboe-Bisschoff inquired if the house could be removed or demolished. Administrator Buchholtz stated that would be determined by the owner and could possibly be sold.

Councilmember Goodboe-Bisschoff inquired if the property were to be demolished, would the area be a good location for a stormwater retention pond. Engineer Gravel stated that it is a site that could be looked at, but noted the site is not directly tied into the system that drains at 83<sup>rd</sup> Avenue NE and Monroe Street NE.

The consensus of the Council was to assist with cleanup efforts and assess the amount to the property, should assistance be requested.

### 13. Other

#### A. Closed Session – Potential Sale of 525 Osborne Road NE

MOTION MADE BY MAYOR HANSEN TO CLOSE REGULAR CITY COUNCIL MEETING TO DISCUSS APPROVAL OF PURCHASE AGREEMENT FOR 525 OSBORNE ROAD NE. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

Mayor Hansen recessed the meeting at 7:50 PM.

Mayor Hansen opened the regular meeting at 8:16 PM.

Attorney Thames reported that the City Council discussed and is prepared to take a vote on the potential sale of 525 Osborne Road NE. He reported that the City Council discussed the purchase agreement terms and approved the the Purchase Agreement and price. He stated that the Council authorized the mayor and staff to execute the documents.

MOTION MADE BY MAYOR HANSEN TO APPROVE RESOLUTION 18-38 APPROVING PURCHASE AGREEMENT AND AUTHORIZING MAYOR AND ADMINISTRATOR, CLERK/TREASURER TO EXECUTE DOCUMENTS FACILITATING THE TRANSFER OF 525 OSBORNE ROAD NE FROM THE CITY OF SPRING LAKE PARK TO INTERSTATE LLC. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

### 15. Adjourn

MOTION BY COUNCILMEMBER WENDLING TO ADJOURN. VOICE VOTE: ALL AYES. MOTION CARRIED.

The meeting was adjourned at 8:18 PM.

---

Cindy Hansen, Mayor

Attest:

---

Daniel R. Buchholtz, Administrator, Clerk/Treasurer





CITY OF SPRING LAKE PARK  
CLAIMS LIST APPROVED AND PAID  
GENERAL OPERATIONS

Date: Aug 2018  
Page: 1  
Claim Res.#18-15

<u>VOUCHER</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
64790	ADAM JOHNSON	UMPIRE REIMBURSEMENT RECREATION	90.00
64791	AT & T MOBILITY	MONTHLY SERVICES	1,265.10
64792	BRENDEN GEISELHART	UMPIRE REIMBURSEMENT RECREATION	78.00
64793	DANIEL BALCK	UMPIRE REIMBURSEMENT RECREATION	588.00
64794	DERRICK SMITH	UMPIRE REIMBURSEMENT RECREATION	331.50
64795	HARLAN ISOM	UMPIRE REIMBURSEMENT RECREATION	63.00
64796	KATHRYN SMITH	UMPIRE REIMBURSEMENT RECREATION	36.00
64797	KYLE ANTHONY TRAUTMANN	UMPIRE REIMBURSEMENT RECREATION	84.00
64798	MN PUBLIC FACILITIES AUTHORITY	GENERAL OBLIGATION BONDS	232,324.25
64799	KRISTINE PEARSON	MILEAGE REIMBURSEMENT	34.66
64800	LEE SADOWSKI	UMPIRE REIMBURSEMENT RECREATION	1,626.00
64801	SAMMY BRANK	UMPIRE REIMBURSEMENT RECREATION	72.00
64802	SAMUEL MOHLER	UMPIRE REIMBURSEMENT RECREATION	36.00
64803	SLP FIRE DEPARTMENT	AUG FIRE PROTECTION	18,834.00
64804	AFLAC	PAYROLL	22.17
64805	CENTRAL PENSION FUND	PAYROLL	520.08
64806	DEARBORN NATIONAL	PAYROLL	585.01
64807	DELTA DENTAL	PAYROLL	1,638.99
64809	HEALTH PARTNERS	PAYROLL	13,957.68
64810	L.E.L.S.	PAYROLL	245.00
64811	LOCAL 49	PAYROLL	105.00
64812	NCPERS MINNESOTA-7750811	PAYROLL	72.00
64813	THE HOME DEPOT CREDIT SERVICES	MONTHLY CREDIT CARD	102.19
64814	TWIN CITIES BMEU WEST	POSTAGE	2,100.00
64815	AFLAC	PAYROLL	22.17
64816	CENTRAL PENSION FUND	PAYROLL	520.08
64817	DEARBORN NATIONAL	PAYROLL	540.71
64818	DELTA DENTAL	PAYROLL	1,638.99
64819	HEALTH PARTNERS	PAYROLL	13,957.68
64820	L.E.L.S.	PAYROLL	245.00
64821	LOCAL 49	PAYROLL	105.00

CITY OF SPRING LAKE PARK  
CLAIMS LIST APPROVED AND PAID  
GENERAL OPERATIONS

Date: Aug 2018  
Page: 2  
Claim Res.#18-15

<u>VOUCHER</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
64822	NCPERS MINNESOTA-7750811	PAYROLL	72.00
64823	ADVANCED GRAPHIX INC	SERVICES	625.00
64824	ALLINA HEALTH SYSTEM	TRAINING	180.00
64825	AMERICAN MESSAGING	MONTHLY SERVICES	4.17
64826	ASPEN MILLS	UNIFORM ALLOWANCES	455.10
64827	BARN QUILT TOURS LLC	RECREATION DAY TRIP	200.00
64828	BROCK WHITE COMPANY	SUPPLIES	253.95
64829	CINTAS	MATS	176.92
64830	COMMERS PRINTING INC	SUPPLIES	264.00
64831	COMMONWEALTH ORIGINAL LAND T	OVERPAYMENT FINAL WTR BILL	50.00
64832	COMM-WORKS, LLC	PARK CAMERAS MONTHLY SERVICES	125.00
64833	COMPUTER INTERGRATION TECHNOI	MANAGED SERVICES	2,000.00
64834	COON RAPIDS CHRYSLER	AUTO SERVICES	3,298.84
64835	COTTENS INC	PARTS	87.87
64836	DIAMOND VOGEL PAINTS	SUPPLIES	767.00
64837	DODGE OF BURNSVILLE	AUTO SERVICES	948.65
64838	DOUGLAS EBELTOFT	REGISTRATION REIMBURSEMENT	425.00
64839	ECM PUBLISHERS, INC.	PUBLISHING	220.38
64840	FASTENAL COMPANY	PARTS	49.05
64841	GOPHER STATE ONE-CALL INC	LOCATES	147.15
64842	GREEN LIGHTS RECYCLING INC	RECYCLYING EVENT	4,034.18
64843	HAWKINS WATER TREATMENT	WATER CHEMICALS	2,186.25
64844	INNOVATIVE OFFICE SOLUTIONS LLC	SUPPLIES	269.96
64845	INSTRUMENTAL RESEARCH INC	JULY WATER TESTING	72.00
64846	JOHN AND DEBORAH MATTOX	RECREATION REFUND	200.00
64847	MICHAEL LEDMAN	INSTRUCTOR FEES RECREATION	528.00
64848	MANSFIELD OIL COMPANY	FUEL	2,932.73
64849	MENARDS-CAPITAL ONE COMMERIC	MONTHLY CREDIT CARD	1,442.85
64850	METROPOLITAN COUNCIL	SEPT WASTE WATER SERVICES	46,213.07
64851	MN DEP'T OF LABOR & INDUSTRY	PRESSURE VESSEL	60.00
64852	NARDINI FIRE EQUIPMENT	OPERATING SUPPLIES	115.25

CITY OF SPRING LAKE PARK  
CLAIMS LIST APPROVED AND PAID  
GENERAL OPERATIONS

Date: Aug 2018  
Page: 3  
Claim Res.#18-15

<u>VOUCHER</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
64853	NORTHERN	PARTS	55.96
64854	OFFICE OF MN.IT SERVICES	FIBER OPTICS	92.80
64855	KAY OKEY	REIMBURSEMENT EXTENDED TOUR	83.23
64856	ON SITE SANITATION INC	RESTROOMS	322.93
64857	PERFECT 10 CAR WASH	AUTO SERVICES	60.95
64858	PLUNKETT'S INC	PEST CONTROL	90.00
64859	RICHFIELD BUS CO	BUS SERVICES RECREATION	707.42
64860	RILEY BUS SERVICE INC	BUS SERVICES RECREATION	3,400.00
64861	SMITH SCHAFFER & ASSOCIATES	2017 AUDIT FEES	800.00
64862	U.S.T.I.	E-BILLING	0.24
64863	VOIGT'S BUS COMPANIES	BUS SERVICES RECREATION	855.38
64864	WASTE MANAGEMENT OF WI-MN	MONTHLY SERVICES	7,388.46
64865	WENCK ASSOCIATES	SERVICES	2,241.78
64866	WIPERS AND WIPES INC	PARTS	1,140.40
64867	ZULEY AWARDS	SOFTBALL EXPENSE RECREATION	2,120.25
64868	ALLEGRA PRINT & IMAGING	PRINTING	80.44
64869	ANDERA SHOQUIST	OVERPAYMENT FINAL WTR BILL	4.48
64870	LUANN BURGER	INSTRUCTOR FEES RECREATION	330.00
64871	BUTTERWORTH CENTER & DEERE-WI EXTENDD TOUR RECREATION		46.00
64872	CENTERPOINT ENERGY	MONTHLY UTILITIES	422.49
64873	CINTAS	MATS	88.46
64874	COMCAST	MONTHLY SERVICES	105.92
64875	COMPUTER INTERGRATION TECHNOI	MANAGED SERVICES	2,000.00
64876	CONNEXUS ENERGY	MONTHLY UTILITIES	412.34
64877	CORE & MAIN LP	PARTS	627.91
64878	BARRY DAVIS	ELECTION JUDGE	179.38
64879	KELLY DELFS	ELECTION JUDGE	194.76
64880	CHERYL ENSENBACH	ELECTION JUDGE	250.38
64881	ROSEMARY ESLER	ELECTION JUDGE	184.51
64882	ESS BROTHERS, INC.	WATER MH	377.00
64883	FINANCE AND COMMERCE	PUBLISHING	134.79

CITY OF SPRING LAKE PARK  
CLAIMS LIST APPROVED AND PAID  
GENERAL OPERATIONS

Date: Aug 2018  
Page: 4  
Claim Res.#18-15

<u>VOUCHER</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
64884	FLEXIBLE PIPE TOOL COMPANY	SERVICES/PARTS	612.90
64885	MARILYNN FORSBERG	ELECTION JUDGE	35.88
64886	JENNY GOODEN	MILEAGE REIMBURSEMENT	56.68
64887	JOAN HAGEDORN	ELECTION JUDGE	205.00
64888	LEONARD HAMMERUD	ELECTION JUDGE	179.38
64889	KAREN HOKANSON	ELECTION JUDGE	189.63
64890	HERB HOPPENSTEDT	ELECTION JUDGE	225.50
64891	HOUSE OF PRINT	PRINTING	3,812.68
64892	JOANN HYDEMAN	ELECTION JUDGE	184.50
64893	INNOVATIVE OFFICE SOLUTIONS LLC	SUPPLIES	243.45
64894	JAMES & ASHLEY FREEMAN	OVERPAYMENT FINAL WTR BILL	5.82
64895	STEPHANIE JAUERT	ELECTION JUDGE	179.38
64896	NORM KELZENBERG	ELECTION JUDGE	205.01
64897	MICHAEL KILEY	ELECTION JUDGE	55.00
64898	DELORES KOTHMAN	ELECTION JUDGE	242.00
64899	KARI LATHE	ELECTION JUDGE	64.06
64900	MANSFIELD OIL COMPANY	FUEL	2,045.93
64901	METRO SALES	RICOH COPIER RECREATION	843.00
64902	CITY OF MINNEAPOLIS	APS TRANSACTIONS	183.60
64903	LISA MONSON-HOKENSON	ELECTION JUDGE	225.50
64904	M-R SIGN CO INC	PARTS	2,196.26
64905	ANN O'DONNELL	ELECTION JUDGE	189.63
64906	MARY KAY PILTZ	ELECTION JUDGE	194.76
64907	ALICE PROKOTT	ELECTION JUDGE	30.75
64908	ELEANOR PUUMALA	ELECTION JUDGE	236.50
64909	JUDY ANN ROGGE	ELECTION JUDGE	210.13
64910	KATHY ROTHAM	ELECTION JUDGE	242.00
64911	NANCY ROSE-BALAMUT	ELECTION JUDGE	247.50
64912	STEVEN SCHIEFERT	ELECTION JUDGE	169.13
64913	SHIRLEY STEVERMER	ELECTION JUDGE	189.63
64914	ERNA THOMLEY	ELECTION JUDGE	184.51

CITY OF SPRING LAKE PARK  
CLAIMS LIST APPROVED AND PAID  
GENERAL OPERATIONS

Date: Aug 2018  
Page: 5  
Claim Res.#18-15

<u>VOUCHER</u>	<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>AMOUNT</u>
64915	MARILYN TROOP	ELECTION JUDGE	184.51
64916	DOLORES VOOHEES	ELECTION JUDGE	128.13
64917	DEAN WALDVOGEL	ELECTION JUDGE	194.76
64918	WALTERS RECYCLING REFUSE SERV	MONTHLY SERVICES	306.01
64919	TAMMI WINTERS	ELECTION JUDGE	184.51
64920	XCEL ENERGY	MONTHLY UTILITIES	16,447.51
64921	JULIE ANN ZEULI	ELECTION JUDGE	148.63
		<b>TOTAL DISBURSEMENTS</b>	<u>416,523.05</u>

WHEREAS,  
the City Council of the City of Spring Lake Park has considered the foregoing itemized list of disbursements; and

WHEREAS,  
the City Council has determined that all disbursements, as listed, with the following exceptions:

\_\_\_\_\_  
\_\_\_\_\_

are proper.

NOW, THEREFORE BE IT RESOLVED:  
that the City Council directs and approves the payment of the aforementioned disbursements this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: \_\_\_\_\_  
Mayor

Councilmembers:

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Daniel Buchholtz, Admin/Clerk-Treasurer



CITY OF SPRING LAKE PARK  
1301 Eighty-First Avenue N.E.  
Spring Lake Park, MN 55432  
Ph: 763-784-6491 Fax: 763-792-7257

# PUBLIC RIGHT-OF-WAY APPLICATION

NAME/COMPANY: Park Construction Co.

GOPHER 1-CALL REG. NO.: 98629

ADDRESS: 8101 Hwy 65  
1481 81st Avenue NE, Minneapolis, MN 55432

PHONE: 763-786-9800

FAX: 763-717-6238

E-MAIL ADDRESS: jprange@parkconstructionco.com

NAME OF REPRESENTATIVE: Josh Prange

REPRESENTATIVE PHONE NO'S.: 507-837-9116

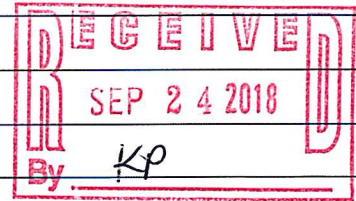
DESCRIPTION OF PROPOSED WORK: including a start date and completion date:

Install sanitary and water connections at 8101 81st Avenue NE  
for proposed Hy-Vee building.

START DATE: ~~9/24/18~~ 10/1/18 COMPLETION DATE: ~~10/5/18~~ 10/9/18

The City of Spring Lake Park reserves the right to modify the schedule as necessary in the issuance of the permit. Therefore, the dates stated on this application may not necessarily match actual approved dates.

EXPLANATION OF RESTORATION: Asphalt patch and concrete curb and gutter  
per City specification immediately after connection of water and  
sanitary pipe.



3 holes x \$150.00  
Total = \$450.00  
Josh Prange

Digitally signed by Josh Prange  
DN: c=US, e=jprange@parkconstructionco.com, o=Park  
Construction Co., ou=Commercial Division, cn=Josh Prange  
Reason: I am approving this document  
Date: 2018.09.07 08:56:06 -0500

Authorized Representative Signature

9/17/2018

Date

## FOR OFFICE USE ONLY

- ☐ PROOF OF CERTIFICATE OF INSURANCE:  
☐ SCALED DRAWING SHOWING LOCATION  
☐ COPY OF INSURANCE POLICIES  
(If Corporation; from Secretary of State)

VERIFICATION DATE: \_\_\_\_\_

- ☐ LETTER OF CREDIT OR CONST. BOND  
☐ COPY OF CERTIFICATE OF AUTHORITY  
(From M.P.U.C., State, or Federal Agency)

PERMIT FEES: ☐ Excavation Hole - \$150.00  
☐ Trench - \$70.00/100'+Hole fee

☐ Emergency Hole - \$55.00  
☐ Obstruction Fee - \$50.00+.05/Ft.

Receipt No.: \_\_\_\_\_

Date: \_\_\_\_\_

Initials: \_\_\_\_\_

APPLICANT MUST CONTACT THE SPRING LAKE PARK PUBLIC WORKS DIRECTOR AT 763-792-7227  
48 HOURS PRIOR TO COMMENCING WORK





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

9/20/2018

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER  
Cobb Strecker Dunphy & Zimmermann  
225 South Sixth Street  
Suite 1900  
Minneapolis MN 55402

CONTACT NAME: Sarah Edwards

PHONE (A/C, No, Ext): 612-349-2407

FAX (A/C, No):

E-MAIL ADDRESS: sedwards@csdz.com

INSURER(S) AFFORDING COVERAGE

NAIC #

INSURER A : Phoenix Insurance Company

25623

INSURER B : Starr Indemnity &amp; Liability Company

38318

INSURER C : Travelers Indemnity Company

25658

INSURER D :

INSURER E :

INSURER F :

INSURED  
Park Construction Company  
1481 81st Ave NE  
Spring Lake Park, MN 55432

PARKCONI3

**COVERAGES**

CERTIFICATE NUMBER: 197550732

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Contr Liab per <input checked="" type="checkbox"/> Policy Form/XCU GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			DTCO6F686407PHX18	4/1/2018	4/1/2019	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000 \$
C	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY			DT8106F686407IND18	4/1/2018	4/1/2019	COMBINED SINGLE LIMIT (Ea accident) \$ 2,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0			1000584992181	4/1/2018	4/1/2019	EACH OCCURRENCE \$ 9,000,000 AGGREGATE \$ 9,000,000 \$
A	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	DTJUB6F68640718	4/1/2018	4/1/2019	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
A	Stop Gap			DTJUB6F68640718	4/1/2018	4/1/2019	Applies to ND

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  
License/Permit Requirements

**CERTIFICATE HOLDER****CANCELLATION**

City of Spring Lake Park  
1301 Eighty-First Ave NE  
Spring Lake Park MN 55432

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2015 ACORD CORPORATION. All rights reserved.







City of Spring Lake Park  
1301 81st Avenue NE  
Spring Lake Park, MN 55432

Contractor's Licenses

October 1, 2018

Blacktopping Contractor

Richfield Blacktop

General Contractor

Minnesota Wisconsin Playground

Welsh Construction, LLC

Mechanical Contractor

Ray N. Welter Heating Company

Plumbing Contractor

Schuler Plumbing, LLC

Sewer & Water

Park Construction Company

Tree Contractor

Living Water Tree Service, Inc.







**City of Spring lake Park**  
**Code Enforcement Division**  
1301 Eighty First Avenue Northeast  
Spring Lake Park, Minnesota 55432  
(763) 783-6491 Fax: (763) 792-7257

---

## REPORT

---

**TO:** Spring Lake Park City Council  
**FROM:** Barry L. Brainard, Code Enforcement Director  
**RE:** Code Enforcement Monthly Report for September 2018  
**DATE:** September 25, 2018

---

The Spring Lake Park Code Enforcement department is delegate the duties of enforcement for all building, mechanical, plumbing, fire, rental, property, nuisance, and zoning codes within Spring Lake Park.

In September 2018, a total of 20 building, 7 zoning, 13 mechanical, and 6 plumbing for a total of 46 permits issued compared to a total of 45 in 2017. Code Enforcement conducted 152 inspections in the month of September including 95 building, 12 mechanical, 5 plumbing, 14 rental, 11 zoning, and 11 nuisance, 2 fire, and 2 C.O. inspections. I have enclosed the Spring Lake Park permit data sheets for your review regarding specific permit details.

Construction at the Legends of Spring Lake Park is coming to end as final inspections are being conducted throughout the building. On September 14<sup>th</sup>, a temporary Certificate of Occupancy was issued to Dominion for the Legends.

I have received plans and application for the old Povlitski's building located at 8407 Plaza Boulevard to remodel the interior for a proposed banquet and restaurant called Dala Banquet. Since this building sat vacant for several years, the building has lost any and all grandfather status that was applied. The new owner is required to bring the old building to current code including installing a grease trap, improved ventilation and natural lighting.

Also attached with this report, please find the September 2018 Spring Lake Park vacancies listings. The listings include both residential and commercial properties indicating vacant and foreclosure properties as well as upcoming Sheriff Sales. September 2018 vacancy listing summarizes the following:

- 11 vacant/foreclosed residential properties currently posted by the Code enforcement department and/or soon to be posted. Remain the same from last month.
- 2 vacant/foreclosed commercial properties currently posted by the Code Enforcement department and/or soon to be posted. Remains the same from last month.
- 2 residential properties currently occupied and ready for Sheriff Sale's redemption. Remain the same from last month.

In September of 2018, the Code Enforcement Department did not post any abandoned property. Also in the month of September, my department issued three administrative offense tickets pertaining to residential nuisance violations.

Time allotted for Code Enforcement in September is as follows:

Building Inspections:	63%
Mechanical Inspections:	8%
Plumbing Inspections:	3%
Rental and Certificate of Occupancy Inspections:	11%
Fire Inspections:	1%
Zoning Inspections:	7%
Nuisance Inspections:	7%

In September of 2018, I also attended the following appointments:

- City Council meetings on September 4<sup>th</sup> and 17<sup>th</sup>.
- Department Head meeting on September 5<sup>th</sup>.
- P&Z meeting on September 24<sup>th</sup>.

As falls beckons, so does the need to have bonfires. The handout included in this month's report, helps residents within Spring Lake Park to understand the basic requirements when conducting a recreational fire on their property. As always, you can find all of the Spring Lake Park Code Enforcement handouts on-line at [www.slpmn.org](http://www.slpmn.org) under Code Enforcement.

Also, I would like to remind folks that October 7<sup>th</sup> through the 13<sup>th</sup> is Fire Prevention Week. This year's theme is Look. Listen. Learn. Please remember to replace your smoke detectors in your home every ten years by checking the manufactured date on the back of the detectors. In addition, testing of smoke detectors and replacement of batteries should be done every six months to assure full operation. You can find more information on line at: [www.firepreventionweek.org](http://www.firepreventionweek.org)

This concludes the Code Enforcement Department monthly report for September 2018. If anyone has any questions or concerns regarding my report, I would be happy to answer them at this time.

**City of Spring Lake Park**  
**Permits Issued & Fees Report - Detail by Address**

Issued Date From: 9/1/2018 To: 9/25/2018  
 Permit Type: All Property Type: All Construction Type: All  
 Include YTD: Yes Status: Not Voided

Permit#	Date Issued	Site Address	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Fees	WAC Fees	Total Fees
<b>Permit Type: BUILDING</b>												
<b>Permit Kind: COMMERCIAL ADDITION</b>												
<b>Permit Kind: COMMERCIAL ALTERATION</b>												
2018-00356	09/18/2018	8355 UNIVERSITY AVE NE		0	4,000.00	112.10	72.86	2.00				186.96
<b>Permit Kind: COMMERCIAL DEMOLITION</b>												
2018-00354	09/17/2018	7807 HIGHWAY 65 NE		0		200.00						200.00
<b>Permit Kind: COMMERCIAL PAINT BOOTH</b>												
<b>Permit Kind: COMMERCIAL REMODEL</b>												
<b>Permit Kind: COMMERCIAL REPAIR</b>												
2018-00329	09/04/2018	8355 UNIVERSITY AVE NE		0	1,500.00	70.96	46.12	0.75				117.83
<b>Permit Kind: COMMERCIAL ROOFING</b>												
2018-00345	09/24/2018	8462 CENTER DR NE		0	42,957.00	664.08		21.48				685.56
<b>Permit Kind: MOBILE HOME MOBILE HOME</b>												
<b>Permit Kind: MULTI-FAMILY ROOFING</b>												
<b>Permit Kind: PUBLIC ADDITION</b>												
2018-00363	09/18/2018	8395 ABLE ST NE		0								
<b>Permit Kind: PUBLIC ALTERATION</b>												
<b>Permit Kind: PUBLIC REMODEL</b>												
<b>Permit Kind: SINGLE FAMILY BASEMENT FINISH</b>												
<b>Permit Kind: SINGLE FAMILY DECK</b>												
<b>Permit Kind: SINGLE FAMILY DOOR REPLACEMENT</b>												
2018-00367	09/20/2018	652 83RD AVE NE		0	821.00	43.80		0.41				44.21
<b>Permit Kind: SINGLE FAMILY EGRESS WINDOW</b>												
2018-00330	09/04/2018	830 81ST AVE NE		0	1,000.00	55.96	38.12	0.50				89.58





Permit#	Date Issued	Site Address	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	WAC Fees	Total Fees
---------	-------------	--------------	--------------	-------------	-----------	---------	------------	-----------------	-----------	-----------	----------	----------	------------

Permit Type: BUILDING

Permit Kind: SINGLE FAMILY GARAGE

Permit Kind: SINGLE FAMILY INSULATION

Permit Kind: SINGLE FAMILY REMODEL

Permit Kind: SINGLE FAMILY ROOFING

2018-00365	09/19/2018	840 LUND AVE NE		0	14,200.00	278.77		7.10					285.87
2018-00361	09/18/2018	8130 TERRACE RD NE		0	7,000.00	161.12		3.50					164.62

Permit Kind: SINGLE FAMILY SIDING

2018-00343	09/13/2018	773 83RD AVE NE		0	12,000.00	247.82	5.00	6.00					253.82
2018-00358	09/14/2018	8085 GARFIELD ST NE		0	10,500.00	218.31		5.25					223.56
2018-00359	09/14/2018	533 LUND AVE NE		0	17,240.00	328.45		8.62					337.07
2018-00362	09/17/2018	451 MAPLE ST NE		0	22,000.00	406.22		11.00					417.22

Permit Kind: SINGLE FAMILY STRUCTUAL

Permit Kind: SINGLE FAMILY WINDOW REPLACEMENT

2018-00357	09/17/2018	482 83RD AVE NE		0	8,987.00	193.59		4.49					198.08
2018-00353	09/17/2018	8141 ABLE ST NE		0	4,945.00	127.54		2.47					130.01
2018-00325	09/06/2018	8334 FILLMORE ST NE		0	19,363.00	363.14		9.68					372.82
2018-00360	09/14/2018	8084 HAYES ST NE		0	7,001.00	161.14		3.50					164.64
2018-00346	09/17/2018	765 MAPLE ST NE		0	5,050.00	129.26		2.53					131.79

Permit Type: BUILDING - Totals

Period	18	0	178,564.00	3,762.26	162.10	89.28							4,003.64
YTD	152	0	13,153,534.90	96,223.51	46,659.98	4,126.77							147,095.26

Permit Type: FIRE ALARM

Permit Kind: COMMERCIAL FIRE ALARM

Permit Kind: MULTI-FAMILY FIRE ALARM

Permit Type: FIRE ALARM - Totals

Period	0												
YTD	4	0											5,005.00



Permit#	Date Issued	Site Address	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	WAC Fees	Total Fees
---------	-------------	--------------	--------------	-------------	-----------	---------	------------	-----------------	-----------	-----------	----------	----------	------------

Permit Type: FIRE SUPPRESSION

Permit Kind: COMMERCIAL FIRE SUPPRESSION

Permit Kind: PUBLIC FIRE SUPPRESSION

Permit Type: FIRE SUPPRESSION - Totals

Period	0												
YTD	9	0			3,649.02	205.35	86.53						3,935.90

Permit Type: MECHANICAL

Permit Kind: COMMERCIAL HEATING, VENT & AC

Permit Kind: MULTI-FAMILY HEATING, VENT & AC

Permit Kind: SINGLE FAMILY HEATING, VENT & AC

2018-00369	09/21/2018	417 83RD AVE NE		0	50.00		1.00						51.00
2018-00364	09/18/2018	651 83RD AVE NE		0	50.00		1.00						51.00
2018-00338	09/11/2018	825 BALLANTYNE LN NE		0	50.00		1.00						51.00
2018-00336	09/11/2018	8485 COTTAGEWOOD TERR NE		0	80.00		1.00						81.00
2018-00344	09/13/2018	1330 COUNCIL OAKS DR NE		0	50.00		1.00						51.00
2018-00342	09/13/2018	7960 JACKSON ST NE		0	50.00		1.00						51.00
2018-00326	09/06/2018	7922 QUINCY ST NE		0	50.00		1.00						51.00

Permit Kind: SINGLE FAMILY HVAC - RESIDENTIAL SINGLE

2018-00335	09/07/2018	8281 6TH ST NE		0	40.00		1.00						41.00
2018-00334	09/07/2018	521 BALLANTYNE LN NE		0	40.00		1.00						41.00
2018-00370	09/21/2018	8085 GARFIELD ST NE		0	40.00		1.00						41.00
2018-00331	09/06/2018	8041 MADISON ST NE		0	40.00		1.00						41.00
2018-00333	09/06/2018	350 MAPLE ST NE		0	40.00		1.00						41.00
2018-00371	09/21/2018	8246 TAYLOR ST NE		0	40.00		1.00						41.00

Permit Type: MECHANICAL - Totals

Period	13	0			620.00		13.00						633.00
YTD	95	0			22,776.51		554.02						23,330.53



Permit#	Date Issued	Site Address	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	WAC Fees	Total Fees
---------	-------------	--------------	--------------	-------------	-----------	---------	------------	-----------------	-----------	-----------	----------	----------	------------

Permit Type: PLUMBING

Permit Kind: COMMERCIAL PLUMBING

Permit Kind: MULTI-FAMILY PLUMBING

2018-00352 09/17/2018 7779 UNIVERSITY AVE NE

0

45.00

1.00

46.00

Permit Kind: SINGLE FAMILY PLUMBING

2018-00327 09/06/2018 524 80TH AVE NE

0

45.00

1.00

46.00

2018-00372 09/21/2018 8055 BENJAMIN ST NE

0

49.00

1.00

50.00

2018-00337 09/11/2018 1326 CROWN OAKS DR NE

0

54.00

1.00

55.00

2018-00332 09/06/2018 691 IONE AVE NE

0

45.00

1.00

46.00

2018-00339 09/11/2018 7856 MONROE ST NE

0

45.00

1.00

46.00

Permit Type: PLUMBING - Totals

Period	6	0	283.00	6.00									289.00
YTD	51	0	2,803.00	51.00									2,854.00

Permit Type: SIGN

Permit Kind: COMMERCIAL SIGN PERMANENT

2018-00340 09/11/2018 8097 HIGHWAY 65 NE

0

251.25

251.25

Permit Kind: COMMERCIAL SIGN TEMPORARY

2018-00341 09/13/2018 1111 81ST AVE NE

0

35.00

35.00

2018-00366 09/19/2018 8421 UNIVERSITY AVE NE

0

35.00

35.00

Permit Type: SIGN - Totals

Period	3	0	321.25										321.25
YTD	12	0	2,238.49										2,238.49

Permit Type: ZONING

Permit Kind: SINGLE FAMILY ACCESSORY BUILDING

Permit Kind: SINGLE FAMILY DRIVEWAY

2018-00373 09/24/2018 8121 6TH ST NE

0

45.00

45.00

9/25/2018



Permit#	Date Issued	Site Address	Permit Count	Dwell Units	Valuation	Revenue	Plan Check	State Surcharge	Park Fees	SAC Units	SAC Fees	WAC Fees	Total Fees
<b>Permit Type: ZONING</b>													
<b>Permit Kind: SINGLE FAMILY DRIVEWAY</b>													
2018-00351	09/14/2018	824 82ND AVE NE		0		45.00							45.00
2018-00347	09/14/2018	616 84TH AVE NE		0		45.00							45.00
2018-00350	09/18/2018	593 IONE AVE NE		0		45.00							45.00
<b>Permit Kind: SINGLE FAMILY FENCE</b>													
<b>Permit Kind: SINGLE FAMILY SHED</b>													
2018-00348	09/17/2018	824 82ND AVE NE		0		45.00							45.00
2018-00267	09/05/2018	1600 85TH AVE NE		0		50.00	5.00						50.00
2018-00368	09/20/2018	8306 LAKEWOOD DR NE		0		45.00							45.00
<b>Permit Type: ZONING - Totals</b>													
			<b>Period</b>	<b>7</b>	<b>0</b>	<b>320.00</b>	<b>5.00</b>						<b>320.00</b>
			<b>YTD</b>	<b>33</b>	<b>0</b>	<b>1,490.00</b>	<b>5.00</b>						<b>1,490.00</b>
<b>Report Total</b>													
			<b>Period</b>	<b>47</b>	<b>0</b>	<b>\$178,564.00</b>	<b>5,306.51</b>	<b>167.10</b>					<b>5,566.89</b>
			<b>YTD</b>	<b>356</b>	<b>0</b>	<b>\$13,153,534.90</b>	<b>129,180.53</b>	<b>46,870.33</b>					<b>185,949.18</b>





(I checked Public Records 8-31-18. NO new filings.) nk

[illegible]





## CITY OF SPRING LAKE PARK

1301 Eighty First Avenue NE  
Spring Lake Park, Minnesota 55432  
Ph: 763-784-6491  
[www.slpmn.org](http://www.slpmn.org)

### SPRING LAKE PARK RECREATIONAL FIRES / OPEN BURNING

Open burning is not permitted in Spring Lake Park.

Recreational/Bon fires are permitted under the following conditions:

1. Only natural firewood in lengths less than two (2) feet.
2. Fire must be contained in a ring or pit not more than three (3) feet in diameter.
3. Fire ring or pit must be located at least twenty five (25) feet from any structures or combustibles.
4. Fire must be constantly attended by an adult, and a means to extinguish it readily available.
5. Recreational fires are not permitted on windy days, on sites with construction activities, or when there is a fire ban in effect.

Please direct your web browser to:

[http://www.dnr.state.mn.us/forestry/fire/firerating\\_restrictions.html](http://www.dnr.state.mn.us/forestry/fire/firerating_restrictions.html) for fire ban information.

Police and Fire Department officers may require that a fire be immediately extinguished and discontinued if it is not in compliance with the above, the smoke is offensive to neighbors, or the burning constitutes a hazardous condition.

Violation of these fire rules is a misdemeanor and is punishable by fines up to \$750 and/or 90 days in jail.





# Memorandum

---

**To:** Mayor Hansen and Members of the City Council

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

**Date:** September 26, 2018

**Subject:** Memorandum of Understanding – Anoka County Regional Economic Development Initiative

Anoka County HRA, Connexus Energy and the Metro North Chamber of Commerce partnered together to hire Ady Advantage to complete the “Anoka County Economic Development Business Recruitment Roadmap” study to help create an overarching economic development strategy for Anoka County. The study has provided all the stakeholders the foundation to develop strategies to better attract and retain businesses within Anoka County. The project identified three areas of focus, with goals to be achieved. The following goals were identified:

- Marketing and Differentiation: Address and work to change the perception of Anoka County, among stakeholders, partners, developers and potential talent, etc.
- Readiness: Ensure Anoka County is ready for development from both a talent and product (sites and buildings) perspective, etc.
- Alignment/Regionalism: Clearly define roles within the county, as well as with regional partners, as it relates to marketing, incentives, business retention and expansion.

Anoka County has hired an economic development specialist, Jacquel Hajder, to develop, implement and promote economic development strategies, provide technical expertise to cities and work collaboratively with a variety of private and public stakeholders.

Anoka County is requesting participation from the cities/township in the county to generate funds for website services, social media, marketing and other economic development activities. That participation would be memorialized in a Memorandum of Agreement (MOU). The cities are asked to raise, on a per capita basis, \$20,000. The City’s annual share would be \$357. All of the cities in Anoka County have indicated support for this initiative.

Staff is requesting authority to enter into a Memorandum of Agreement with Anoka County to participate in the economic development initiative. The funding is included in the 2019 budget proposal.

If you have any questions, please don’t hesitate to contact me at 763-784-6491.





**MEMORANDUM OF UNDERSTANDING  
FOR ANOKA COUNTY ECONOMIC DEVELOPMENT**

**By and Among  
THE COUNTY OF ANOKA, CONNEXUS ENERGY, METRONORTH CHAMBER OF COMMERCE,  
AND PARTICIPATING MUNICIPALITIES WITHIN ANOKA COUNTY**

This Memorandum of Understanding (“MOU”) is by, between, and among the County of Anoka, a political subdivision of the state of Minnesota, (hereinafter “the County”); Connexus Energy, a Minnesota corporation in Ramsey, Minnesota; MetroNorth Chamber of Commerce, a Minnesota nonprofit organization; and participating Municipalities located within Anoka County, Minnesota (See Exhibit A). For purposes of this MOU, the aforementioned are referred to collectively as the “Hosting Agencies” for the Anoka County economic development initiative.

WHEREAS, a research study was completed by a Consultant, Ady Advantage, in December 2017 (“the Study”) for a market research analysis and evaluation of business opportunities, targets, and strategies for economic development within Anoka County; and

WHEREAS, as a result of the Study, the Hosting Agencies plan to gather with one another as well as other community partners to develop a vision, create an action plan, and set realistic goals to implement shared objectives for economic development and business recruitment within Anoka County; and

WHEREAS, the Hosting Agencies wish to enter into this MOU to establish organizational structures and to develop specific goals and objectives for the collaboration;

NOW, THEREFORE, it is agreed as follows:

- A. Purpose. The purpose of this MOU is to set a framework for the Hosting Agencies and other participating entities, to further the goals of the economic development collaboration by:  
(a) outlining general objectives, (b) defining mutual responsibilities, and (c) setting goals, timelines, communication, and other details necessary to achieve the desired outcomes.
- B. Term. This Memorandum of Understanding is effective upon execution and will continue in effect for five (5) years, or until completion and implementation of a Final Action Plan, as determined by the Executive Committee. The term of this MOU may be renewed for subsequent five (5) year terms upon written agreement of the parties.
- C. Executive Committee. For purposes of this MOU, the Executive Committee for the Anoka County economic development initiative is comprised of representatives from Anoka County, Connexus Energy, Metro North Chamber, and up to four participating cities (“City members”). City members of the Executive Committee shall have staggered, rotating terms as addressed below. A Chairperson may be selected by the members of the Executive Committee to set and conduct meetings and be the primary point of contact between the Executive Committee and any subcommittees.

The names and contact information for the initial Executive Committee members are listed in the attached **Exhibit B** to this Agreement.

1. Executive Committee Members' Terms, Election, and Appointment:

- The members of the Executive Committee shall serve for initial terms of eighteen (18) and twenty four (24) months, as designated on Exhibit B. Certain Executive Committee members' terms may be renewed, as appropriate, to fulfill the objectives set forth in this MOU.
- No more than two County representatives may be designated as "voting members" on the Executive Committee. Other County representatives serving on the Executive Committee, in excess of two voting members, shall participate as non-voting members.
- The four City members of the Executive Committee shall have staggered, rotating terms to enable other participating municipalities to serve on the Executive Committee, as desired. City members may serve a maximum of two (2) consecutive terms.
- As City members' terms expire, the Executive Committee shall survey interest among all participating cities and elect new City members to the Executive Committee to fill expired or vacant terms. The Committee's selection of new City members shall take into consideration such factors as the size of each municipality, and location, to ensure that the Executive Committee constitutes a diverse geographic representation of Anoka County.
- Election of Executive Committee members shall be accomplished by majority vote, to take place at a regular meetings of the Committee, or by electronic means (email) if a vacancy arises. .

2. Executive Committee Meetings:

- The Executive Committee members will hold regular meetings approximately every other month, with the first meeting to be scheduled in the fall of 2018.
- At least two times per year, the Executive Committee will schedule broad based meetings and invite a larger group of City officials and staff, community partners, and other stakeholders, to provide updates and information regarding the current priorities of the economic development collaboration.
- The Executive Committee may also communicate electronically (via email) to review opportunities and give direction to subcommittees as needed.

3. Executive Committee Goals and Objectives:

- Define a Vision: The Executive Committee is responsible for gathering information from its subcommittees to form a vision for the business climate and opportunities within Anoka County. The Executive Committee will then communicate that vision with all Cities, community partners and identified stakeholders in the County.



- Develop a Strategic Plan. The Executive Committee will engage in strategic planning, to develop goals, interim activities, and a Final Action Plan, within applicable time frames as set by the Executive Committee.
  - Communication. The Executive Committee will ensure that reliable communication occurs with all subcommittees, and that cities and community partners are kept informed of the progress and results of the collaboration.
  - Review and Contracting. The Executive Committee will continually review its progress and may enter into contracts with outside partners or private companies, as required to effectively research and/or implement work developed over the course of this project.
- D. Subcommittees. The purpose of subcommittees is to ensure diversification of ideas and representation across Anoka County in taking on specific tasks related to economic development.
- The Executive Committee may, at any time during one of its regular meetings, seek to establish, modify, or eliminate one or more subcommittees, which may be comprised of County and City officials/staff, community partners, or other public or private individuals or entities assisting in the economic development collaboration.
  - Subcommittees may also include additional advisory members with expertise relevant to the work of the subcommittee.
  - As of the date of this MOU, three Subcommittees have been formed: (1) Alignment/Regionalism; (2) Readiness; (3) Marketing and Differentiation.
  - Subcommittees should attempt to meet on a monthly basis if possible.
- E. Reporting. The following persons/entities should provide written or oral monthly reports to the Executive Committee:
- a. Subcommittee Reports. All subcommittees shall promptly deliver reports to the Executive Committee on matters which the subcommittee has addressed.
  - b. Economic Development Specialist. Anoka County will direct its Economic Development Specialist (“ED Specialist”) to assist the Executive Committee and other entities in this collaboration. The ED Specialist will report directly to the County Administrator regarding day-to-day operations and activities. At the request of the Executive Committee, the ED Specialist will provide reports to the Executive Committee as to research outcomes and progress. The ED Specialist may also be asked to present findings at the broader, semi-annual meetings attended by cities, community partners, and other stakeholders.
- F. Financial Contributions.
- a. Economic Development Specialist. The County is subsidizing and monitoring the activities of the Economic Development Specialist, described herein, to provide direct project assistance and research in connection with this collaboration.
  - b. Budget and Cost Sharing. If the Executive Committee seeks continued services for website and social media support, marketing assistance, or other outside services,

the cost allocation among cities and financial responsibilities will require execution of separate agreements. On or around August of each calendar year, a proposed budget for the following year will be voted on by the Executive Committee at a regular meeting, and distributed to the members. An agreement for voluntary cost sharing among participating municipalities will also be distributed, with the first agreement effective for year 2019. Negotiation, execution, and administration of any such cost sharing agreement must comply with applicable statutes and regulations. Nothing in this MOU shall obligate the agencies or partners to obligate or transfer any funds absent a separate agreement authorizing such contributions.

G. Modification: Material alternations, modifications, or variations of the terms of this MOU must be reduced to writing as an amendment and signed by the parties. Election or appointment of members to the Executive Committee, the formation of subcommittees, and updates to Exhibits A and B to this MOU do not require formal amendment of this MOU.

H. Authorized Representatives. By signing this MOU, the undersigned certifies that he/she is authorized to act and carry out the terms of this MOU.

**IN WITNESS WHEREOF**, the parties hereto have executed this Memorandum of Understanding on the dates indicated below.

**County of Anoka:**

\_\_\_\_\_  
Rhonda Sivarajah, Chair  
Anoka County Board of Commissioners

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
Jerry Soma, County Administrator

Date: \_\_\_\_\_

**Connexus Energy:**

\_\_\_\_\_  
Bruce Sayler, Principal

Date: \_\_\_\_\_

**NorthMetro Chamber of Commerce:**

\_\_\_\_\_  
Lori Higgins, President

Date: \_\_\_\_\_

**City of Andover:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Anoka:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Bethel:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Blaine:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Centerville:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Circle Pines:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Columbia Heights:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Columbus:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Coon Rapids:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of East Bethel:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Fridley:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Ham Lake:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Hilltop:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Lexington:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Lino Lakes:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**Linwood Township:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Nowthen:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Oak Grove:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Ramsey:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of St. Francis:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_

**City of Spring Lake Park:**

By: \_\_\_\_\_  
Its: \_\_\_\_\_

Date: \_\_\_\_\_



**EXHIBIT A**  
**“HOSTING AGENCIES”**  
**FOR ANOKA COUNTY ECONOMIC DEVELOPMENT**

County of Anoka	Jerry Soma County Administrator 2100 Third Ave., Ste 700 Anoka, MN 55303	763-324-4715	<a href="mailto:Jerry.Soma@co.anoka.mn.us">Jerry.Soma@co.anoka.mn.us</a>
County of Anoka	Rhonda Sivarajah Chair, Anoka County Board of Commissioners 2100 Third Ave., Ste 700 Anoka, MN 55303	763-324-4706	<a href="mailto:Rhonda.Sivarajah@co.anoka.mn.us">Rhonda.Sivarajah@co.anoka.mn.us</a>
County of Anoka	Scott Schulte County Commissioner 2100 Third Ave., Ste 700 Anoka, MN 55303	763-324-4712	<a href="mailto:Scott.Schulte@co.anoka.mn.us">Scott.Schulte@co.anoka.mn.us</a>
County of Anoka	Karen Skepper Director of Community and Government Relations 2100 Third Ave., Ste 700 Anoka, MN 55303	763-227-5807	<a href="mailto:Karen.Skepper@co.anoka.mn.us">Karen.Skepper@co.anoka.mn.us</a>
County of Anoka	Jacquel Hajder Economic Development Specialist 2100 Third Ave., Ste 700 Anoka, MN 55303	763-324-4609	<a href="mailto:Jacquel.Hajder@co.anoka.mn.us">Jacquel.Hajder@co.anoka.mn.us</a>
Connexus Energy	Bruce Sayler Principal/ Community Development Connexus Energy 14601 Ramsey Blvd. NW Ramsey, MN 55303	763-323-2600	<a href="mailto:Bruce.sayler@connexusenergy.com">Bruce.sayler@connexusenergy.com</a>
Metro North Chamber of Commerce	Lori Higgins 21 <sup>st</sup> Century Bank Building 9380 Central Ave. NE, Ste 320 Blaine, MN 55434	763-783-3553	<a href="mailto:lori@metronorthchamber.org">lori@metronorthchamber.org</a>
<b>CITIES/TOWNSHIPS</b>			
Andover	Joe Janish Community Development Director City of Andover 1685 Crosstown Blvd. NW Andover, MN 55304	763-767-5140	<a href="mailto:j.janish@andovermn.gov">j.janish@andovermn.gov</a>
Anoka	Doug Borglund Community Development Director City of Anoka 2015 First Avenue North Anoka, MN 55303	763-576-2723	<a href="mailto:dborglunch@ci.anoka.mn.us">dborglunch@ci.anoka.mn.us</a>
Bethel	Ginger Berg City Administrator	763-434-4366	<a href="mailto:info@bethelmn.govoffice2.com">info@bethelmn.govoffice2.com</a>

	City of Bethel 23820 Dewey St. Bethel, MN 55005		
Blaine	Erik Thorvig Economic Development Coordinator City of Blaine 10801 Town Square Drive NE Blaine, MN 55449	763-785-6147	<a href="mailto:ethorvig@ci.blaine.mn.us">ethorvig@ci.blaine.mn.us</a>
Centerville	Mark Statz City Administrator City of Centerville 1880 Main Street Centerville, MN 55038	651-429-3232 Ext. 10	<a href="mailto:mstatz@centervilemn.com">mstatz@centervilemn.com</a>
Circle Pines	Patrick Antonen City Administrator City of Circle Pines 200 Civic Heights Circle Circle Pines, MN 55014	763-231-2605	<a href="mailto:pantonen@ci.circle-pines.mn.us">pantonen@ci.circle-pines.mn.us</a>
Columbia Heights	Keith Dahl Community Development Manager City of Columbia Heights 590 40 <sup>th</sup> Avenue NE Columbia Heights, MN 55421	763-706-3675	<a href="mailto:kdahl@columbiaheightsmn.gov">kdahl@columbiaheightsmn.gov</a>
Columbus	Elizabeth Mursko City Administrator City of Columbus 16319 Kettle River Blvd. Columbus, MN 55025	651-419-9003	<a href="mailto:cityadministrator@ci.columbus.mn.us">cityadministrator@ci.columbus.mn.us</a>
Coon Rapids	Matt Brown Economic Development Coordinator City of Coon Rapids 11155 Robinson Drive Coon Rapids, MN 55433	763-767-6451	<a href="mailto:mbrown@coonrapidsmn.gov">mbrown@coonrapidsmn.gov</a>
East Bethel	Colleen Winter Community Development Director City of East Bethel 2241 221 <sup>st</sup> Ave. NE East Bethel, MN 55011	763-367-7855	<a href="mailto:colleen.winter@ci.east-bethel.mn.us">colleen.winter@ci.east-bethel.mn.us</a>
Fridley	Scott Hickok Community Development Director City of Fridley 6431 University Avenue NE Fridley, MN 55432	763-572-3590	<a href="mailto:Scott.hickok@fridleymn.gov">Scott.hickok@fridleymn.gov</a>
Ham Lake	Denise Webster City Clerk City of Ham Lake 15544 Central Avenue NE Ham Lake, MN 55304	763-235-1680	<a href="mailto:dwebster@ci.ham-lake.mn.us">dwebster@ci.ham-lake.mn.us</a>
Hilltop	Ruth Nelson City Clerk	763-571-2023	<a href="mailto:rnelson@hilltop.govoffice.com">rnelson@hilltop.govoffice.com</a>



	City of Hilltop 4555 Jackson St. NE Hilltop, MN 55421		
Lexington	Bill Petracek City Administrator City of Lexington 9180 Lexington Avenue Lexington, MN 55014	763-784-2792	<a href="mailto:bill.petracek@cityoflexingtonmn.org">bill.petracek@cityoflexingtonmn.org</a>
Lino Lakes	Michael Grochala Community Development Director City of Lino Lakes 600 Town Center Parkway Lino Lakes, MN 55014	651-982-2427	<a href="mailto:michael.grochala@ci.lino-lakes.mn.us">michael.grochala@ci.lino-lakes.mn.us</a>
Linwood Township	Pam Olson Town Clerk Linwood Township 22817 Typo Creek Drive NE Stacy, MN 55079	651-462-2812	<a href="mailto:pam.olson@linwoodtownship.org">pam.olson@linwoodtownship.org</a>
Nowthen	_____ City of Nowthen 8188 199 <sup>th</sup> Avenue NW Nowthen, MN 55330	763-441-1347	_____
Oak Grove	Loren Wickham City Administrator City of Oak Grove 19900 Nightingale St. NW Oak Grove, MN 55011-9204	763-404-7075	<a href="mailto:lwickham@ci.oak-grove.mn.us">lwickham@ci.oak-grove.mn.us</a>
Ramsey	Tim Gladhill Community Development Director City of Ramsey 7550 Sunwood Drive NW Ramsey, MN 55303	763-433-9826	<a href="mailto:tgladhill@cityoframsey.com">tgladhill@cityoframsey.com</a>
St. Francis	Kate Thunstrom Community Development Director City of St. Francis 23340 Cree Street NW St. Francis, MN 55070	763-267-6191	<a href="mailto:kthunstrom@stfrancismn.org">kthunstrom@stfrancismn.org</a>
Spring Lake Park	Dan Buchholtz City Administrator City of Spring Lake Park 1301 81 <sup>st</sup> Avenue NE Spring Lake Park, MN 55432	763-784-6491	<a href="mailto:dbuchholtz@slpmn.org">dbuchholtz@slpmn.org</a>

August 30, 2018



**EXHIBIT B**  
**EXECUTIVE COMMITTEE MEMBERS**

<b>ENTITY</b>	<b>MEMBER/REPRESENTATIVE</b>	<b>INITIAL TERM</b>	<b>CONTACTS</b>
County of Anoka	Jerry Soma County Administrator	*Non-voting member	<a href="mailto:Jerry.Soma@co.anoka.mn.us">Jerry.Soma@co.anoka.mn.us</a> T: 763-324-4715
County of Anoka	Jacquel Hajder Economic Development Specialist	*Non-voting member	<a href="mailto:Jacquel.Hajder@co.anoka.mn.us">Jacquel.Hajder@co.anoka.mn.us</a> T: 763-324-4609
County of Anoka	Scott Schulte Anoka County Commissioner	18 months Or Non-voting member	<a href="mailto:Scott.Schulte@co.anoka.mn.us">Scott.Schulte@co.anoka.mn.us</a> T: 763-324-4712
County of Anoka	Rhonda Sivarajah Chair, Anoka County Board of Commissioners	18 months Or Non-voting member	<a href="mailto:Rhonda.Sivarajah@co.anoka.mn.us">Rhonda.Sivarajah@co.anoka.mn.us</a> T: 763-324-4706
County of Anoka	Karen Skepper Director of Community and Government Relations	24 months	<a href="mailto:Karen.Skepper@co.anoka.mn.us">Karen.Skepper@co.anoka.mn.us</a> T: 763-227-5807
Connexus Energy	Bruce Sayler Principal/ Community Development Connexus Energy	24 months	<a href="mailto:Bruce.sayler@connexusenergy.com">Bruce.sayler@connexusenergy.com</a> T: 763-323-2600
Metro North Chamber of Commerce	Lori Higgins President	24 months	<a href="mailto:lori@metronorthchamber.org">lori@metronorthchamber.org</a> T: 763-783-3553
<b>CITY MEMBERS</b>			
Columbia Heights	Keith Dahl Community Development Manager City of Columbia Heights	18 months	<a href="mailto:kdahl@columbiaheightsmn.gov">kdahl@columbiaheightsmn.gov</a> T: 763-706-3675
Coon Rapids	Matt Brown Economic Development Coordinator City of Coon Rapids	24 months	<a href="mailto:mbrown@coonrapidsmn.gov">mbrown@coonrapidsmn.gov</a> T: 763-767-6451
East Bethel	Colleen Winter Community Development Director City of East Bethel	18 months	<a href="mailto:colleen.winter@ci.east-bethel.mn.us">colleen.winter@ci.east-bethel.mn.us</a> T: 763-367-7855
Lino Lakes	Michael Grochala Community Development Director City of Lino Lakes	24 months	<a href="mailto:michael.grochala@ci.lino-lakes.mn.us">michael.grochala@ci.lino-lakes.mn.us</a> T: 651-982-2427

September 4, 2018



VOLUNTARY COST SHARING AGREEMENT  
FOR ANOKA COUNTY ECONOMIC DEVELOPMENT

THIS AGREEMENT is made between the County of Anoka, a political subdivision of the State of Minnesota (“County”), and the undersigned participating municipality (“City”), a municipal corporation organized under the laws of the State of Minnesota.

WITNESSETH

WHEREAS, the County and the City, along with other community partners, entered into a Memorandum of Agreement (“MOU”) on \_\_\_\_\_, 2018, to set goals, create an action plan, and implement shared objectives in promoting economic development within Anoka County;

WHEREAS, the MOU addresses the need for cost sharing between the County and municipalities of Anoka County to support continued services for website services, social media support, marketing assistance, and future services related to the county-wide economic development initiative;

WHEREAS, an annual budget for the above activities was developed, including a formula for participating municipalities to provide proportional cost sharing based upon its population;

NOW, THEREFORE, the parties understand and mutually agree as follows:

1. The budget for services related to website services, social media, marketing, and other supportive activities required for economic development, is currently set at \$20,000.00 for calendar year 2019.
2. For 2019, the City agrees to contribute the sum of \$0.057 per individual resident within its city limits, as a voluntary contribution to the economic development costs described above.
3. The City shall provide such payment annually, by the end of the first quarter in each calendar year, beginning in 2019.
4. Each calendar year, the County will provide an annual budget and proposed formula for the City’s use in calculating its contributions under this Agreement.
5. The City may opt out or cancel this Agreement by providing 30 days’ written notice to the County Administrator: Jerry Soma, 2100 Third Avenue, Ste. 700, Anoka, MN 55303.
6. This agreement shall terminate concurrently with the MOU, unless a City chooses to opt out or cancel this agreement prior to its expiration, as provided above.

IN WITNESS WHEREOF, the parties of this Agreement have hereunto set their hands on the dates written below:

**ANOKA COUNTY HOUSING  
AND REDEVELOPMENT AUTHORITY:**

**CITY OF [Enter City Name]:**

By: \_\_\_\_\_  
Scott Schulte, Board Chair  
ACHRA

By: \_\_\_\_\_

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

By: \_\_\_\_\_  
Karen Skepper, Executive Director  
ACHRA

By: \_\_\_\_\_

Dated: \_\_\_\_\_

Dated: \_\_\_\_\_

**APPROVED AS TO FORM**

By: \_\_\_\_\_  
Christine Carney  
Assistant County Attorney

By: \_\_\_\_\_

<b>Budget</b>	<b>2018</b>	<b>2019</b>	<b>2020</b>	<b>2021</b>	<b>Total</b>
Marketing & differentiation	\$ 40,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 100,000
Alignment	\$ -	\$ -	\$ -	\$ -	\$ -
Readiness	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Total Expenses</b>	<b>\$ 40,000</b>	<b>\$ 20,000</b>	<b>\$ 20,000</b>	<b>\$ 20,000</b>	<b>\$ 100,000</b>

<b>Contributions from Business Par</b>	<b>2018</b>	<b>2019</b>	<b>2020</b>	<b>2021</b>	<b>Total</b>
Connexus Energy	\$ 8,000				\$ 8,000
Anoka County	\$ 8,000				\$ 8,000
Metro North Chamber	\$ 5,000				\$ 5,000
Excel	\$ -				\$ -
Other	\$ -				\$ -
<b>Total</b>	<b>\$ 21,000</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 21,000</b>

<b>Net Expense</b>	<b>\$ 19,000</b>	<b>\$ 20,000</b>	<b>\$ 20,000</b>	<b>\$ 20,000</b>	<b>\$ 79,000</b>
--------------------	------------------	------------------	------------------	------------------	------------------

**Population Cost Allocation**      **\$ 0.054**   **\$ 0.057**   **\$ 0.057**   **\$ 0.057**

<b>City Partners</b>	<b>Population</b>	<b>2018</b>	<b>2019</b>	<b>2020</b>	<b>2021</b>	<b>HRA</b>
Andover	32,335	\$ 1,762	\$ 1,855	\$ 1,855	\$ 1,855	N
Anoka	17,995	\$ 981	\$ 1,032	\$ 1,032	\$ 1,032	N
Bethel	461	\$ 25	\$ 26	\$ 26	\$ 26	Y
Blaine	64,188	\$ 3,498	\$ 3,682	\$ 3,682	\$ 3,682	N
Centerville	3,958	\$ 216	\$ 227	\$ 227	\$ 227	Y
Circle Pines	4,909	\$ 268	\$ 282	\$ 282	\$ 282	N
Columbia Heights	20,158	\$ 1,099	\$ 1,156	\$ 1,156	\$ 1,156	Y
Columbus	3,870	\$ 211	\$ 222	\$ 222	\$ 222	Y
Coon Rapids	62,726	\$ 3,418	\$ 3,598	\$ 3,598	\$ 3,598	N
East Bethel	11,788	\$ 642	\$ 676	\$ 676	\$ 676	N
Fridley	28,631	\$ 1,560	\$ 1,642	\$ 1,642	\$ 1,642	N
Ham Lake	15,891	\$ 866	\$ 912	\$ 912	\$ 912	Y
Hill Top	784	\$ 43	\$ 45	\$ 45	\$ 45	Y
Lexington	2,018	\$ 110	\$ 116	\$ 116	\$ 116	Y
Lino Lakes	20,803	\$ 1,134	\$ 1,193	\$ 1,193	\$ 1,193	N
Linwood Township	5,359	\$ 292	\$ 307	\$ 307	\$ 307	Y
Nowthen	4,548	\$ 248	\$ 261	\$ 261	\$ 261	Y
Oak Grove	8,360	\$ 456	\$ 480	\$ 480	\$ 480	Y
Ramsey	26,251	\$ 1,431	\$ 1,506	\$ 1,506	\$ 1,506	Y
St. Francis	7,400	\$ 403	\$ 424	\$ 424	\$ 424	Y
Spring Lake Park	6,219	\$ 339	\$ 357	\$ 357	\$ 357	Y
<b>Total</b>	<b>348,652</b>	<b>\$ 19,000</b>	<b>\$ 20,000</b>	<b>\$ 20,000</b>	<b>\$ 20,000</b>	





## 2019 ACRED Spending Options

With the voluntary cost sharing agreement set at \$20,000 there are a variety of options for spending on marketing funds - options can be seen below. The main expense is the MNCAR property feed that will be on the Anoka County website. Although a large expense, the feed is a landing spot for anyone looking for sites in Anoka County for sale or lease. A majority of commercial real estate professionals are members. Professional reports can be generated on any property, along with market reports that can be customized to each municipality. Not all events or options can fit within the budget, but they are items that would qualify. At the large group/local officials meeting in October. Cities will approve which items they would like in the budget and approve a final list of expenditures for the budget in 2019.

*Properties in Blue are expenditures that area either fixed cost for the website operation or annual events that have strong support to continue*

<b>MNCAR Properties Listing</b> - Available site search engine on website, and access to pull property information for RFP's or pull data for businesses such as Traffic Counts, area demographics, etc.	\$8,200
<b>Minnesota Marketing Partnership</b> - Anoka County will join 50 other metropolitan economic development leaders to influence Minnesota's economic development marketing strategy, increase Anoka County's visibility and brand, bridge Minnesota Marketing with County-wide marketing, and access to exclusive site selector events.	\$625
<b>MN Real Estate Journal - Event sponsorship and panel presentations</b> - Connect with the regions brokers and developers at events that are often highly attended and informative. Invite cities as well. Events could include the office summit, land development summit, etc.	\$2,500-\$10,000
<b>UpRiver Event</b> - This annual event is for commercial real estate professionals to learn more about Anoka County, plus offering an educational piece and 2 hours of CE credits - Cost for breakfast provided and CE credit application	\$1,500
<b>Website Annual Cost to website host</b>	\$375
<b>Attend events sponsored or paid for in part or full by Greater MSP</b>	\$0-50 per event
<b>Attend NIOP Events - Commercial Real Estate Professional Organization - Event topics -</b> -Big Picture Trends in Real Estate Capital Economic Risks & Opportunities for Commercial Real Estate -Make Way for Gen Z	\$25-\$50 per event

<b>Marketing Materials</b> (Banners, pamphlets, etc.) for Trade Shows and to arm brand ambassadors with materials	\$1000-2000
<b>Ad Campaigns that are sponsored to target audiences via LinkedIn or Twitter- Topics could be to attract business, highlight the workforce, highlight the quality of life, etc.</b> 1. How Anoka County is the best place to land your business 2. Anoka County residents could support many more restaurants - here's why 3. Anoka County has the highest workforce participation in the state	\$100-\$500 per add campaign
<b>Success Stories</b> - PR about companies that have recently located or expanded in Anoka County	\$0
<b>Hold an incentives workshop</b> - determine what types of projects the County and local EDOs would incent and how	NA
<b>Hold a talent strategies workshop</b> - to work through potential solutions to the issues identified. This workshop should include employers, workforce development representatives, educational institutions, etc.	\$0
<b>Host a Familiarization Tour with local real estate professionals</b> Cost would be for organizing transportation and possibly a lunch for those that attend	\$1,000
<b>Attend Business Events and Expos</b> - Entrepreneur Expo, Restaurant Association Events, Manufacturing Week, Restaurant Innovation Summit, Hospitality Minnesota, etc.	\$0-\$100 an event
<b>Conduct Annual Business Summit</b> - engage business leaders in Economic Development initiative. This meeting should include an educational piece to update employers on economic development initiative and programs, but also gain their input into key challenges they may be facing	\$1,300
<b>Summer Familiarization Tour (part of MN Marketing Partnership) targeting HQ's, consultants, consulates, prospects</b> - Depending on location, the cost is solely based upon travel, and if you want to sponsor a lunch speaker (\$1500) - part of MN Marketing partnership	\$500-\$1,500
<b>Fall - Minnesota Venture Conference</b>	\$400 or Sponsorship - \$2000

## **RESOLUTION NO. 18-39**

### **A RESOLUTION APPROVING A VARIANCE TO ALLOW A DRIVEWAY EXPANSION AT 359 MANOR DRIVE**

**WHEREAS,** Carolyn Lohman, 359 Manor Drive NE, have made application to expand her driveway into the required five foot setback by constructing an approximately 13.5 foot by 34 foot expansion of the existing driveway on the west side of her property to accommodate the parking of a recreational vehicle within the front yard setback; and

**WHEREAS,** the property is legally described as follows:

Lot 11 Block 1 Terrace Manor Addition, subject to easement of record; and

**WHEREAS,** mailed and published notice of a public hearing to consider the proposed variance was given; and

**WHEREAS,** a public hearing to consider the proposed variance was held on September 24, 2018; and

**WHEREAS,** the request was made for expansion of an existing driveway to be constructed within 2 feet of the property line, which is less than the required five foot side yard setback (Section 153.132 of the Spring Lake Park Zoning Code); and

**WHEREAS,** the Planning Commission has considered the application against the practical difficulties test as outlined in Section 153.224 of the Spring Lake Park Zoning Code; and

**WHEREAS,** the Planning Commission has recommended approval subject to reasonable conditions; and

**WHEREAS,** the Spring Lake Park City Council has reviewed the application and hereby accepts the findings and recommendation of the Spring Lake Park Planning Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves the request of Carolyn Lohman for a variance allowing the expansion of the driveway within the required five foot side yard setback subject to the following conditions:

1. Applicant shall provide screening (vegetative or fencing) within the remaining side yard setback to screen the recreational vehicle from the neighboring property to the west.
2. Applicant shall ensure that the RV is parked no closer than five feet from the property line in conformance with Section 153.066 of the Spring Lake Park Zoning Code.
3. Applicant shall reinstall retaining wall and reseed add disturbed areas with grass.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: Councilmembers.

And the following voted against the same: .

Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, City Administrator



# Memorandum

**To:** Chair Hansen and Members of the Planning Commission

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

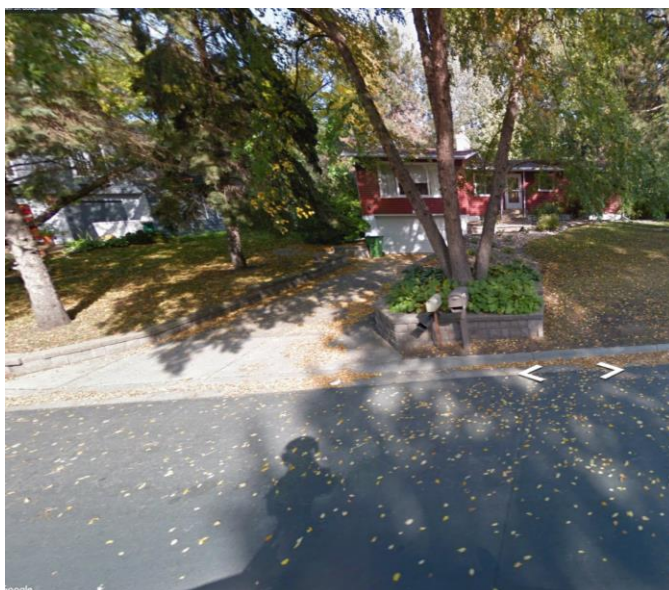
**Date:** September 19, 2018

**Subject:** Driveway Variance at 359 Manor Drive

Carolyn Lohman (applicant) has submitted a variance application to expand her existing driveway at her property at 359 Manor Drive. The application was filed on September 4, 2018 with the City.

The applicant has submitted a request for a variance at 359 Manor Drive NE to allow for the expansion of her driveway along the west edge of the property three feet into the required 5 foot side-yard setback. The property is a 10,125 square foot residential site, along Manor Drive, between University Avenue and Terrace Road. Currently, the property includes a single-family home with an attached garage and driveway. Neighboring properties are single-family residential homes. The applicant would like to use the expanded driveway to store her recreational vehicle (RV) on her property. The applicant currently stores her RV at Public Storage in Fridley, but they are eliminating their outdoor parking spaces to accommodate a climate controlled storage facility.

The property is zoned R-1, Single Family Residential and guided Low Density Residential on the 2030 Future Land Use Map. The driveway is an allowed accessory use in the R-1 zoning district and is consistent with the Comprehensive Plan.



Section 153.224 of the Spring Lake Park Zoning Code outlines the purpose and process to approve a variance. This variance application has been analyzed with respect to those requirements, listed below. It is important to note that a variance may be approved with conditions.

Standards include:

1. *Actions will be in harmony with the general purposes and intent of this title.* The driveway is a standard feature on residential properties for off-street parking.
2. *Variances are consistent with the Comprehensive Plan.* The Comprehensive Plan guides this property as low density residential, which is the current use. A driveway is an accessory use to a residential use and is consistent with the Comprehensive Plan guidance.
3. *The variance, if granted, will not alter the essential character of the locality.* The area is a residential neighborhood, with each property owner having access to the roadway through a driveway. The City Code allows one recreational vehicle (RV) to be parked within the front yard setback provided that the vehicle may not be parked closer than five feet to the side yard property line on an approved driveway. There are a number of driveways on Manor Drive that are located within the required five foot side yard setback.
4. *Economic considerations alone do not constitute practical difficulties.* The applicant does not cite economic considerations as a reason to approve the variance. The applicant would save money by parking the RV on her property rather than storing it at an off-site facility.
5. *A variance will be granted "only in instances where their strict enforcement would cause practical difficulties in complying with the official control because of circumstances unique to the individual property under consideration."* The parcel is standard width and length and includes no wetlands or waterbodies, and therefore are no unique challenges or circumstances on the parcel.

Section 153.132 of the City of Spring Lake Park Zoning Code outlines specific requirements for off-street parking facilities, including driveways, in the city. Those requirements are listed below and have informed the recommendations outlined later in this report.

"Off-street parking and loading facilities shall be subject to the front yard, side yard, and rear yard regulations for the use district in which the parking is located, with the following exceptions.

- (A) In any of the residence districts, no parking or loading space shall be located within 15 feet of any property line. Driveways, garages, and carports in conjunction with any single- or two-family residence shall be exempted from this requirement; however, they shall not be located less than five feet from the property line, except by variance obtained in the manner provided in this code."

In addition, Section 153.066 of the City of Spring Lake Park Zoning Code outlines specific requirements for the parking of motor and recreational vehicles. These requirements are listed below:

“ (2) *Recreational vehicles.* No recreational vehicle, trailer or boat shall be parked or stored for more than 30 days in any residential district except as follows:

(a) A trailer may be used as a temporary office or shelter incidental to construction on or development of the premises on which the trailer is located during the time construction or development is actively under way.

(b) The following recreational vehicles, trailers and boats may be parked or stored on a lot in the R-1 district and may be parked or stored by a tenant only in the R-2 and R-3 districts, provided they are not used or occupied for living, sleeping, housekeeping, or business purposes, and provided they are parked or stored so as to meet the following criteria:

1. One recreational vehicle may be parked within the front yard setback provided that the vehicle may not be parked closer than five feet to the side yard property line except by variance granted pursuant to this code, and then only upon an approved driveway;

2. Travel trailers, pickup coaches, motorized homes, and camping trailers, constructed as temporary dwellings for travel purposes, not exceeding 300 square feet; and

3. Boats and trailers not exceeding 30 feet in length.

(c) Any recreational vehicle, trailer or boat may be parked anywhere on the premises for temporary loading or unloading purposes.”

Through the review of the application for the proposed driveway variance, the City has identified potential issues. These issues are summarized below.

1. *Practical Difficulty and Unique Circumstances.* As stated earlier, the applicant is requesting a variance to locate the driveway within the required 5 foot setback from the western property line. The existing driveway is located 15½ feet from the property line. The applicant can expand the driveway an additional 10½ feet and still meet the five foot side yard setback. The RV is 28 feet long and 8½ feet wide, meaning that the width that would be allowed would be able to accommodate her existing RV with one foot of pavement on each side. Providing the property owner with another 3 feet of driveway would make it easier for the property owner to park the RV on the approved parking surface, especially considering that there will be a retaining wall installed on the west edge of the new driveway.
2. *Existing screening.* There was previously screening of the driveway with two pine trees. However, those pine trees have been cut down to accommodate the driveway. If the Commission wishes to grant the variance, staff would recommend some sort of screening in the remaining setback on the west property line to screen the neighbor’s view of the RV.

Staff recommends the Planning Commission recommend to the City Council denial of the application for a variance with the following findings of fact:



1. Strict enforcement of Spring Lake Park Zoning Code section 153.132 does not result in a practical difficult or unnecessary hardship inconsistent with the intent of Chapter 153 of the Spring Lake Park City Code and a reasonable use of the property remains.
2. There are no wetlands, bluffs, waterbodies or other unique property features that would create a practical difficulty for the property owner to deviate from the strict requirements of the Spring Lake Park Zoning Ordinance.
3. There are no exceptional, unique or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same district.

If the Commission finds that there are practical difficulties and wishes to recommend approval of the variance, staff would recommend the conditions:

1. Applicant shall provide screening (vegetative or fencing) within the remaining side yard setback to screen the RV from the neighboring property to the west.
2. Applicant shall ensure that the RV is parked no closer than five feet from the property line in conformance with Section 153.066 of the Spring Lake Park Zoning Code.
3. Applicant shall install retaining wall and reseed all disturbed areas with grass.

If you have any questions regarding this variance request, please don't hesitate to contact me at 763-784-6491.



For Office Use Only	
Case Number:	
Fee Paid:	\$400
Received by:	
Date Filed:	9/4/18
Date Complete:	
Base Fee:	\$150
Escrow:	\$250

## DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal <input type="checkbox"/> Comprehensive Plan Amendment <input type="checkbox"/> Ordinance Amendment (Text) <input type="checkbox"/> Rezoning <input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Site Plan/Building Plan Review <input type="checkbox"/> Conceptual Plan Review <input type="checkbox"/> Conditional Use Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Lot Combination <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 359 Manor Dr NE, Spring Lake Park mn 55432-1106		
Property Identification Number (PIN#): 02-30-24-21-0055 Current Zoning: Res Hst&		
Legal Description (Attach if necessary): Lot 11 Blk 1 Terrace Manor, Subj To Ease of Rec		
APPLICANT INFORMATION		
Name: Carolyn A. Lohman		Business Name:
Address: 359 Manor Dr NE		
City: Spring Lake Park	State: mn	Zip Code: 55432-1106
Telephone: (H) 763-785-9607 / (C) 612-551-5454	Fax:	E-mail: cal3419@yahoo.com
Contact:	Title:	
OWNER INFORMATION (if different from applicant) SAME		
Name:		Business Name:
Address:		
City:	State:	Zip Code:
Telephone:	Fax:	E-mail:
Contact:	Title:	
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: Residential		
Nature of Proposed Use: still Residential w/ additional driveway space for RV		
Reason(s) to Approve Request: will provide adequate space to store my class A RV (28' L x 8.5' W) in new driveway space. Current location is at outside Public Storage space that is 30' L x 12.5' W in Ridgely.		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
<b>NOTE:</b> Applications only accepted with ALL required support documents. See City Code		



## APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

☒ E-mail cal3419@yahoo.com ☐ Fax \_\_\_\_\_ ☐ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: Carolyn [Signature] Date: 8/31/2018

Owner: same Date: \_\_\_\_\_

**NOTE:** Applications only accepted with ALL required support documents.  
See City Code

## City of Spring Lake Park Variance Application

A variance cannot be approved unless the Planning Commission and City Council find that the "practical difficulties" standard has been met. Please provide a response as to how/why your project will meet the following criteria. Use additional sheets if necessary and consult with the Zoning Administrator if you need clarification on the intent of any of the standards set below.

1. Applicant Information:

Name: Carolyn A. Lohman

☒ Best to call

Telephone: 763-785-9607

Address: 359 Manor Dr NE

☒ Cell Phone: 612-554-5454

City/State/Zip: Spring Lake Park, MN 55632-1106

E-mail: cal3419@yahoo.com

2. Property Owner Information (if different from above):

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_

Address: \_\_\_\_\_

Cell Phone: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

E-mail: \_\_\_\_\_

3. Project Location (Address and Legal Description): 359 Manor Dr NE. Lot 11 Blk 1  
Terrace Manor, subj to Easement of Rec

4. Present Use of Property: Residential

5. Description of Project: Adding new driveway 33' long x 13.5'

6. Specify Section of the Ordinance from which variance is sought: Driveway Information,  
para 3, 5' setback from any lot line

7. Explain how you wish to vary from the applicable provisions of this Ordinance: Instead of  
a 5' setback from the property pin, it would be a 2' setback

8. Please attach a site plan or accurate survey as may be required by Ordinance.

9. **Practical Difficulties Test:** Please answer the following questions as they relate to your specific variance request.

a. In your opinion, is the variance in harmony with the purposes and intent of the Ordinance?

☒ Yes ☐ No Why or why not?

As I understand it, the purpose & intent of the 5' setback is to prevent  
a driveway just outside (within inches) of your neighbor's house. My  
neighbor's house is not next to the new driveway space - it is setback  
from the road an equal distance as is my house, + there is several (25'+)  
feet between the two houses. (see photo's)



b. In your opinion, is the variance consistent with the Comprehensive Plan?

☒ Yes ☐ No Why or why not?

There is no impact to the Comprehensive Plan

c. In your opinion, does the proposal put property to use in a reasonable manner?

☒ Yes ☐ No Why or why not?

The RV will fit much more comfortably in space that's 13.5' wide vs. 10.5' wide.

The new driveway space will be used to store my RV when not in use. RV is 28' Long, 8.5' wide. Currently, it is stored in Public Storage & Ridley - in an outdoor spot that is 12.5' wide.

They have indicated they are getting rid of their outdoor spots & building an environmentally controlled 3 story bldg.

d. In your opinion, are there circumstances unique to the property? (physical characteristics of the property - i.e. sloping topography or other natural features like wetlands or trees)?

☐ Yes ☒ No Why or why not?

There are no unique circumstances - this is just added driveway space

e. In your opinion, will the variance maintain the essential character of the locality?

☒ Yes ☐ No Why or why not?

The added driveway space will not detract from the character of Mann Dr NE. The character of Mann Dr NE is with the fabulous residents of Mann Dr NE. I've known the Colletti's since I moved in, in Dec 97 & the Rapacz-Hughes since they moved in ~ 5 yrs later - both sides - great neighbors!!

The Planning Commission must make an affirmative finding on all of the five criteria listed above in order to grant a variance. The applicant for a variance has the burden of proof to show that all of the criteria listed above have been satisfied.

The undersigned certifies that they are familiar with application fees and other associated costs and also with the procedural requirements of the City Code and other applicable ordinances.

Applicant Signature:



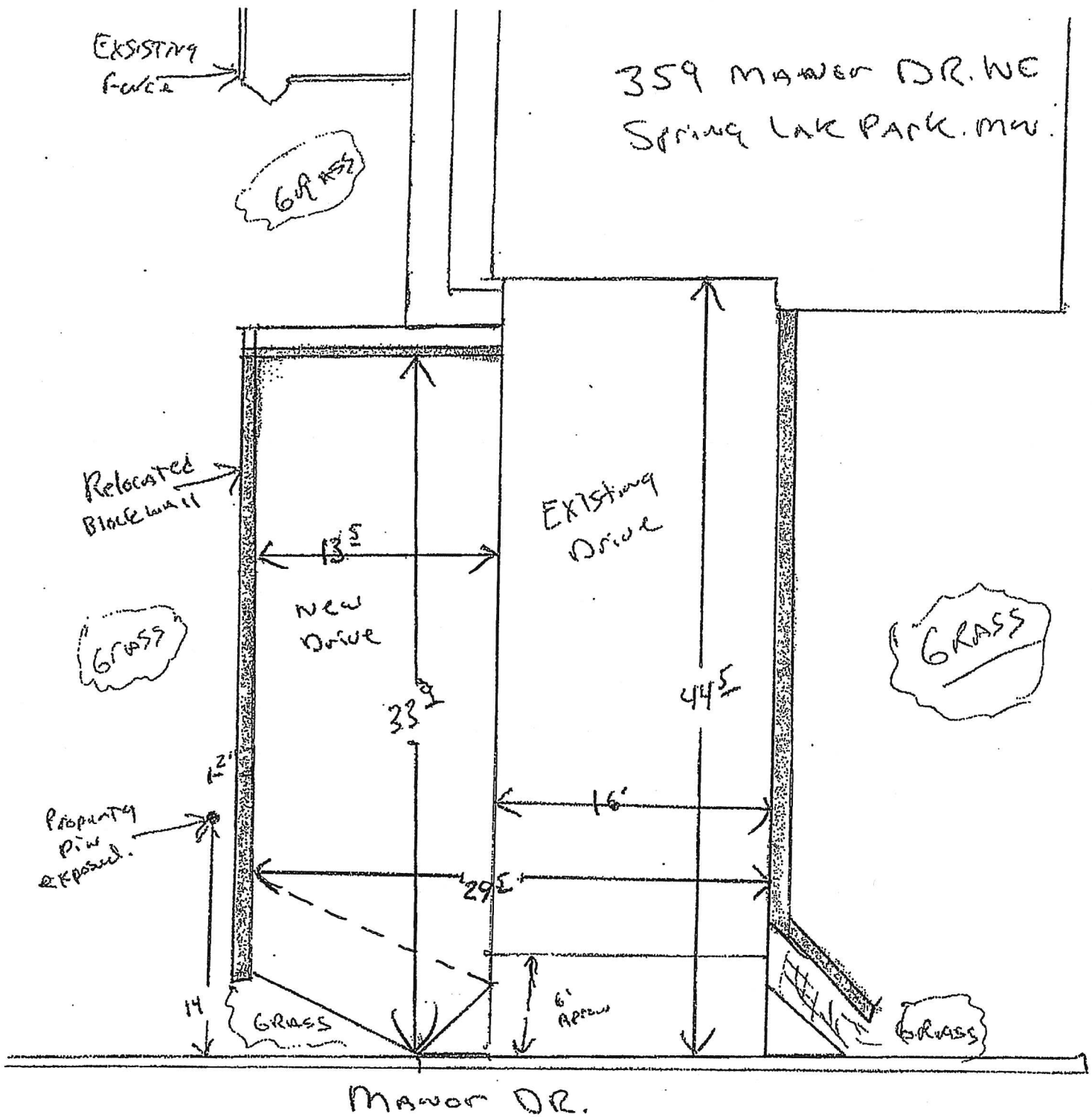
Date:

4 Sept 2018

Fee Owner's (Property Owner) Signature:

Same

Date:



Concrete 4500 psi 5" thick  
 Rebar 4 bar 4' on center  
 4" of Gravel under concrete

Owner HAS OK From Neighbor at 351 MAWEE  
 to encroach property line.

351 Manor Dr NE  
Spring Lake Park, MN 55432  
31 August 2018

City of Spring Lake Park  
1301 81<sup>st</sup> Avenue NE  
Spring Lake Park, MN 55432

RE: Driveway Addition at 359 Manor Dr NE

To City Planning Commission/City Council,

As neighbors of Carolyn Lohman at 359 Manor Dr NE, we support her request for a variance on the 5 ft setback from the property line between the two properties.

A handwritten signature in cursive script that reads "Jim & Jeannie Colletti".

Jim & Jeannie Colletti  
Phone – 763-784-1506 (home)



Colletti  
house  
(351) →



← my  
house  
(359)

Pink stick – property pin

First cone closest to property pin – location of the wall for a 13.5' wide driveway – variance requested

Second cone – location of the wall for a 10.5' wide driveway – IAW 5' setback





## **RESOLUTION NO. 18-39A**

### **A RESOLUTION DENYING A VARIANCE TO ALLOW A DRIVEWAY EXPANSION AT 359 MANOR DRIVE**

**WHEREAS,** Carolyn Lohman, 359 Manor Drive NE, have made application to expand her driveway into the required five foot setback by constructing an approximately 13.5 foot by 34 foot expansion of the existing driveway on the west side of her property to accommodate the parking of a recreational vehicle within the front yard setback; and

**WHEREAS,** the property is legally described as follows:

Lot 11 Block 1 Terrace Manor Addition, subject to easement of record; and

**WHEREAS,** mailed and published notice of a public hearing to consider the proposed variance was given; and

**WHEREAS,** a public hearing to consider the proposed variance was held on September 24, 2018; and

**WHEREAS,** the request was made for expansion of an existing driveway to be constructed within 2 feet of the property line, which is less than the required five foot side yard setback (Section 153.132 of the Spring Lake Park Zoning Code); and

**WHEREAS,** the Planning Commission has considered the application against the practical difficulties test as outlined in Section 153.224 of the Spring Lake Park Zoning Code; and

**WHEREAS,** the Planning Commission has recommended approval subject to reasonable conditions; and

**WHEREAS,** the Spring Lake Park City Council has reviewed the application and hereby does not accept the findings and recommendation of the Spring Lake Park Planning Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby denies the request of Carolyn Lohman for a variance allowing the expansion of the driveway within the required five foot side yard setback and makes the following findings of fact in support of the denial:

1. Strict enforcement of Spring Lake Park Zoning Code Section 153.132 does not result in a practical difficulty or unnecessary hardship inconsistent with the intention of Chapter 153 of the Spring Lake Park City Code and a that a reasonable use of the property remains.
2. There are no wetlands, bluffs, waterbodies or other unique property features that would create a practical difficulty for the property owner to deviate from the strict requirements of the Zoning Ordinance.

3. There are no exceptional, unique or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same district.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: Councilmembers.

And the following voted against the same: .

Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, City Administrator

## DRAFT PROCEEDINGS

Minutes of the Spring Lake Park Planning Commission regularly scheduled meeting held on September 24, 2018 at the Spring Lake Park Community Center, 1301 81<sup>st</sup> Avenue N.E., at 7:00 P.M.

### 1. Call to Order

Chairperson Hansen called the meeting to order at 7:00 P.M.

### 2. Roll Call

Members Present: Commissioners Bernhagen, Eischens, Dircks, Cobbs and Hansen

Members Absent: Commissioner Smith

Staff Present: Building Official Brainard; Administrator Buchholtz and Executive Assistant Gooden

Visitors: Councilmember Delfs  
Barbara Goodboe-Bisschoff, Spring Lake Park  
Paddy Jones, Ham Lake  
Donna Eiler, 8301 Pierce Street NE  
Gene Eiler, 8301 Pierce Street NE  
Mike Thomas, Thomland Homes  
Karen Sorenson, 416 Maple Street NE

### 3. Pledge of Allegiance

### 4. Approval of Minutes – August 27, 2018

MOTION BY COMMISSIONER BERNHAGEN, SECONDED BY COMMISSIONER DIRCKS APPROVING THE MINUTES OF August 27, 2018. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

### 5. Public Hearing – Driveway Variance for 359 Manor Drive NE – Carolyn Lohman

Administrator Buchholtz reported that the City received a variance application from Carolyn Lohman at 359 Manor Drive NE to allow for the expansion of her driveway along the west edge of the property three feet into the required five-foot side-yard setback. He reported that the property is a 10,125 square foot residential site, along Manor Drive, between University Avenue and Terrace Road. He stated that the property includes a single-family residential home with an attached garage and driveway. He stated that neighboring properties are single-family residential homes. He reported that the applicant would like to use the expanded driveway to store her recreational vehicle (RV) on her property. He stated that he applicant currently stores her RV at Public Storage in Fridley, but Public Storage is eliminating their outdoor parking spaces to accommodate a climate controlled storage facility.

Administrator Buchholtz reported that the property is zoned R-1, Single Family Residential and guided Low Density Residential on the 2030 Future Lane Use Map. He stated that the driveway is an allowed accessory use in the R-1 zoning district and is consistent with the Comprehensive Plan.

Administrator Buchholtz reported that Section 153.224 of the Spring Lake Park Zoning Code outlines the purpose and process to approve a variance. He stated that this variance application has been analyzed with respect to the requirements and noted that a variance may be approved with conditions.

Administrator Buchholtz reported that the driveway is a standard feature on residential properties for off-street parking. He stated that the Comprehensive Plan guides this property as low density residential, which is the current use. He stated that the area is a residential neighborhood, with each property owner having access to the roadway through a driveway. He stated that the City Code allows one RV to be parked within the front yard setback provided that the vehicle may not be parked closer than five feet to the side yard property line on an approved driveway. He reported that there are a number of driveways on Manor Drive that are located within the required five-foot side yard setback. He stated that the applicant does not cite economic considerations as a reason to approve the variance. He reported that the parcel is standard width and length and includes no wetlands or waterbodies, and therefore no unique challenges or circumstances on the parcel.

Administrator Buchholtz reported that Section 153.152 of the City of Spring Lake Park Zoning Code outlines specific requirements off-street parking facilities, including driveways, in the city. He explained that in addition, Section 153.066 of the Zoning Code outlines specific requirements for the parking of motor and recreational vehicles.

Administrator Buchholtz reported that through the review of the application for the proposed driveway variance, the City has identified potential issues. He summarized the issues to as:

1. *Practical Difficulty and Unique Circumstances.* He stated that the applicant is requesting a variance to locate the driveway within the required five-foot setback from the western property line. The existing driveway is located 15 ½ feet from the property line. The applicant can expand the driveway an additional 10 ½ feet and still meet the five-foot side yard setback. The RV is 28 feet long and 8 ½ feet wide, meaning that the width that would be allowed would be able to accommodate her existing RV with one foot of pavement on each side. Providing the property owner with another three feet of driveway would make it easier for the property owner to park the RV on the approved parking surface, especially considering that there will be retaining wall installed on the west edge of the new driveway.
2. *Existing screening.* He stated that there was previously screening of the driveway with two pine trees. However, those pine trees have been cut down to accommodate the driveway. He stated that if the Commission wishes to grant the variance, staff would recommend some sort of screening in the remaining setback on the west property line to screen the neighbor's view of the RV.

Administrator Buchholtz stated that staff recommended the Planning Commission recommend to the City Council denial of the application for a variance with the following findings of fact:

1. Strict enforcement of Spring Lake Park Zoning Code section 153.152 does not result in a practical difficulty or unnecessary hardship inconsistent with the intent of Chapter 153 of the Spring Lake Park City Code and a reasonable use of the property remains.
2. There are no wetlands, bluffs, waterbodies or other unique property features that would create a practical difficulty for the property owner to deviate from the strict requirements of the Spring Lake Park Zoning Ordinance.

3. There are no exceptional, unique or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same district.

Administrator Buchholtz stated that if the Commission finds that there are practical difficulties and wishes to recommend approval of the variance, staff would recommend the conditions:

1. Applicant shall provide screening (vegetative or fencing) within the remaining side yard setback to screen the RV from the neighboring property to the west.
2. Applicant shall ensure that the RV is parked no closer than five feet from the property line in conformance with Section 153.066 of the Spring Lake Park Zoning Code.
3. Applicant shall install retaining wall and reseed all disturbed areas with grass.

Commissioner Eischens inquired if staying within the 5-foot driveway length setback would be better than going into 5-foot setback. Administrator Buchholtz stated that the City is recommending denial of setback because there is enough width to park the RV on approved surface and vehicles would be able to enter the garage.

Commissioner Dircks inquired how many other properties have driveways within side yard setbacks in place. Administrator Buchholtz stated that it appears that there are three other residents within the half block area. He stated that there is a struggle to find practical difficulty.

Commissioner Eischens stated that there was a letter in support of the variance from the neighbor to the west of the applicant.

Chairperson Hansen opened the public hearing at 7:13 PM.

Karen Sorenson, 416 Maple Street NE, stated that she is four houses from the applicant's residence and she did not see any problems or have any objections to granting the variance.

Chairperson Hansen inquired if requiring the driveway to conform with variance limits would cause an economic hardship since it would require narrowing the driveway and provide screening. Administrator Buchholtz stated that an economic hardship factor on its own would not be considered for the reason for approval or denial of a variance. He stated that the screening requirement is a staff recommendation to address potential property owner conflicts in the future.

Hearing no additional comments, Chairperson Hansen closed the public hearing at 7:15 PM.

Commissioner Dircks stated that she would feel more comfortable recommending the City Council review and make the decision on the variance as she felt the applicant could explain how the practical difficulties apply to this variance application at the City Council meeting.

**MOTION MADE BY COMMISSIONER EISCHENS, SECOND BY BERNHAGEN, TO APPROVE DRIVEWAY VARIANCE FOR 359 MANOR DRIVE NE WITH THE FOLLOWING CONDITIONS: 1.) APPLICANT SHALL PROVIDE SCREENING (VEGETATIVE OR FENCING) WITHIN THE REMAINING SIDE YARD SETBACK TO SCREEN THE RV FROM THE NEIGHBORING PROPERTY TO THE WEST; 2.) APPLICANT SHALL ENSURE THAT THE RV IS PARKED NO CLOSER THAN FIVE FEET FROM THE PROPERTY LINE IN CONFORMANCE WITH SECTION 153.066 OF THE SPRING LAKE PARK ZONING CODE; 3.) APPLICANT SHALL INSTALL RETAINING WALL AND RESEED ALL DISTURBED AREAS WITH GRASS. ROLL CALL VOTE: COMMISSIONERS EISCHENS-AYE, BERNHAGEN-AYE, COBBS-AYE, DIRCKS-NAY AND CHAIRPERSON HANSEN-AYE. MOTION CARRIED.**



**RESOLUTION NO. 18-40**

**A RESOLUTION APPROVING A LOT SIZE VARIANCE FOR LOT 1 BLOCK 1 PRIDE ROCK ADDITION TO ALLOW CONSTRUCTION OF A TWIN HOME**

**WHEREAS,** Thomland Homes has made a request for a variance from the City's minimum lot size requirement in the R-1, Single Family Residential, District to allow for the construction of a twin home on an undersized lot; and

**WHEREAS,** the property is legally described as follows:

Lot 1 Block 1 Pride Rock Addition, subject to easement of record; and

**WHEREAS,** the owner of the property is Eric Ollestad, Value Homes; and

**WHEREAS,** mailed and published notice of a public hearing to consider the proposed variance was given; and

**WHEREAS,** a public hearing to consider the proposed variance was held on September 24, 2018; and

**WHEREAS,** the request was made to permit the construction of a twin home on an approximately 13,500 square foot lot (6,750 square feet per unit), which is below the minimum lot size requirement of 15,000 square feet (7,500 square feet per unit); and

**WHEREAS,** the Planning Commission has considered the application against the practical difficulties test as outlined in Section 153.224 of the Spring Lake Park Zoning Code; and

**WHEREAS,** the Planning Commission has recommended approval subject to reasonable conditions; and

**WHEREAS,** the Spring Lake Park City Council has reviewed the application and hereby accepts the findings and recommendation of the Spring Lake Park Planning Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves the request of Thomland Homes for a variance reducing the lot standards to allow 6,750 square feet per unit versus the 7,500 square feet per unit that is required under City Code for Lot 1 Block 1 Pride Rock Addition.



The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: Councilmembers.

And the following voted against the same: .

Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, City Administrator

To:	Planning Commission	From:	Phil Carlson, Joe Polacek
	City of Spring Lake Park		Stantec
File:	8360 Pierce Street – Twin Homes CUP and Variance	Date:	September 24, 2018

**Re: 8360 Pierce Street Twin Homes CUP and Variance**

## PIERCE STREET TWIN HOMES (8360 PIERCE STREET)

- CONDITIONAL USE PERMIT APPLICATION
- VARIANCE APPLICATION

Thomland Homes and Remodeling, LLC (applicant) has submitted a Conditional Use Permit (CUP) application and a Variance application for the construction of two twin-home structures (two duplexes) with one structure on each of two lots, four units total, at 8360 Pierce Street. An earlier CUP application was filed on May 8, 2018, but that was withdrawn. The current CUP and Variance applications were filed on Sept 6, 2018 to the City.

This report identifies background information about the property and provides an analysis of the proposed use.

## BACKGROUND

The applicant has submitted a request for a conditional use permit and variances at 8360 Pierce Street NE to allow for the construction of two twin-homes. The property is located on approximately three quarters of an acre (two parcels), on Pierce Street NE near the County Highway 10 & Highway 65 (Central Avenue) interchange (Figure 1).

In January 2018, this property was re-platted to allow for two single-family lots. At that time, the applicant stated that the existing house and garage would be removed to make way to building two new houses. The demolition has since taken place but the applicant has determined construction of two single-family homes is economically unfeasible.

The property is zoned R-1 Single Family Residence. It was guided Commercial in the City's 2030 Land Use Plan but has been changed to Single Family Residential in the 2040 Land Use Plan.

Twin homes are a conditional use in the R-1 zoning district. Additionally, the proposal does not meet the minimum lot area for twin homes, so variances are also required.



Figure 1: Property and immediate surroundings

**Re: 8360 Pierce Street Twin Homes CUP and Variance**

## ANALYSIS

The proposed construction of two twin-home structures on 8360 Pierce Street Northeast requires two approvals:

- Conditional Use Permit (CUP) – Twin-homes are allowed as a conditional use subject to the approval and contingent on stipulations set forth by the Planning Commission and City Council.
- Variance – A minimum lot area of 7,500 square feet is required for each two-family dwelling unit but only 6,750 square feet per unit are available. A variance to minimum lot area is requested.

The requirements for approval of each application are listed in the sections below.

### Conditional Use Permits

Section §153.202 of the City of Spring Lake Park's zoning code outlines the requirements to approve a conditional use permit:

- (1) The City Council may then authorize the conditional use permit, provided the applicant has provided evidence establishing the following:
  - a) **The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community** – The applicant states that the proposed use, two side-by-side twin homes on each of the two lots, will be beneficial to the community as it will allow for four new residential units and families to join the community, rather than the two total units permitted by the zoning district.
  - b) **The use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity** – Although attached, rather than detached, these single-family homes will be consistent with the physical character of neighboring uses and will not be detrimental to the health, safety, morals, or general welfare of the community or neighboring property owners. The applicant believes that the addition of four new homes will increase property values along Pierce Street.
  - c) **The proposed use will comply with the regulations specified in this chapter for the district in which the proposed use is to be located** – The applicant states that the proposed use meets the requirements stated in §153 (the City's Zoning Code). However, a review of the survey and proposed site plan indicates that the following regulations are met:
    - Lot depth: 150' (120' minimum required)
    - Lot width: 90' (75' minimum required)
    - Front Yard Setbacks: 35' (35' required)
    - Side Yard Setbacks: 10' (10' minimum required)
    - Rear Yard Setbacks: 45' (40' minimum required)
    - Home square footage: 1,800 SF, including a garage (1200 SF minimum required)
    - Building Lot Coverage: 26.6% (35% maximum requirement)

The following regulation is **not** met, requiring the variance application outlined on following pages:

- Minimum Lot Area Per Dwelling Unit: 6,750 SF per unit, 13,500 SF lot size (7,500 SF minimum required per unit, 15,000 SF lot size)

**Re: 8360 Pierce Street Twin Homes CUP and Variance**

- d) **The use is one of the conditional uses specifically listed for the district in which it is to be located** – Two-family dwellings, including the proposed twin homes, are permitted as a conditional use within the R-1 Single Family Residential District (see Appendix D of the Zoning Code).
- e) **The proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity** – Uses adjacent to the site and along Pierce Street are also residential in nature. The construction of four new homes will not negatively impact neighboring property owners.
- f) **The use will not lower property values or impact scenic views in the surrounding area** – The applicant states that building the four new housing units will create additional value in the neighborhood. These new housing units will provide additional options to the city, as it is neither apartments or single-family homes, which are more typical to the area. They also replace a vacant lot with new lower-density residential homes that match the character of the street.
- g) **Existing streets and highways and proposed access roads will be adequate to accommodate anticipated traffic** – The proposed four new units will not substantially increase traffic along Pierce Street or surrounding streets. Other uses in the area are residential and institutional so the addition of these new units will not change daily traffic patterns in the area.
- h) **Sufficient off-street parking and loading space will be provided to serve the proposed use** – The applicant's site plan and application indicate that each of the four housing units will have a 484-square-foot two-car garage with driveway access from Pierce Street. In the City's zoning code, single- and two-family residential uses must provide a one car garage of at least 300 square feet for residents (see §153.044). The proposed use meets these off-street parking requirements.
- i) **The use includes adequate protection for the natural drainage system and natural topography** – The applicant states that the proposed site layout will include adequate protection for the natural drainage system and topography. However, the City Engineer has concluded that the materials included in this application are not sufficient to determine whether or not there is adequate protection for drainage.
- j) **The proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance** – The proposed use is residential in nature and will not emit offensive odor, fumes, dust, noise, or vibration.
- k) **The proposed use will not stimulate growth incompatible with prevailing density standards.** – The applicant states that the addition of four new side-by-side twin homes will not stimulate incompatible growth. Additional low-density housing choices in single-family neighborhoods is also consistent with housing goals and policies adopted by the city.

## **Variance**

Section §153.224 of the City of Spring Lake Park's zoning code requires that practical difficulty be proven for the approval of a variance. The Planning Commission and City Council consider the responses to the following questions as criteria for approving a variance:

- (a) **Is the variance in harmony with the purposes and intent of the Ordinance?** – Among the purposes of the City's zoning code is providing an orderly and compatible arrangement of buildings, preventing overcrowdings and supporting healthy living conditions. The variance for this project would allow a slightly more compact unit but does not significantly impact densities in the neighborhood.

**Re: 8360 Pierce Street Twin Homes CUP and Variance**

- (b) **Is the variance consistent with the comprehensive plan?** – The proposal is in line with goals and policies of the 2030 and draft 2040 land use element of the comprehensive plan. First, the proposal would supply a less-common residential use type to provide a mix of housing as set forth in the goals. The 2040 draft update adds a new policy to encourage redevelopment of under-utilized properties to achieve best use, eliminate blight, increase tax base, while mitigating impact on surrounding uses. The 8360 Pierce Street Northeast proposal is in line with that goal.
- (c) **Does the proposal put property to use in a reasonable manner?** – The proposal supports a reasonable use of the property. The proposed twin-homes, which would be slightly higher density than strict use, providing a transition between the single-family home to the south and commercial use to the north.
- (d) **Are there circumstances unique to the property? (physical characteristics of the property – i.e. sloping topography or other natural features like wetlands or trees)?** – The conversion of the intersection of Highway 65 (Central Ave) and County Highway 10 to a limited access interchange some years ago greatly affected the access and probable use of 8560 Pierce Street Northeast. In addition, the property is an infill site with fixed dimensions between other lots, with little opportunity to add area that would satisfy the zoning code lot size standard.
- (e) **Will the variance maintain the essential character of the locality?** The immediate neighborhood currently has a variety of land uses and building types, including single family homes, commercial buildings, and townhomes within a block of the property. The proposal would bring new investment to the area, adding to, and enhancing the essential character.

### **Natural Drainage and Topography**

When the lot split was approved for this site, the Engineer requested that:

*“Before building permits are approved for any of the lots in this plat:*

- a. Details on site drainage need to be reviewed. The grading for each building shall be completed so that no additional runoff is diverted to any adjacent property.*
- b. Details on the driveway, sewer and water service connections, and street patching need to be reviewed for each lot.”*

These details will still need to be provided for the proposal with the proposed two two-family homes.

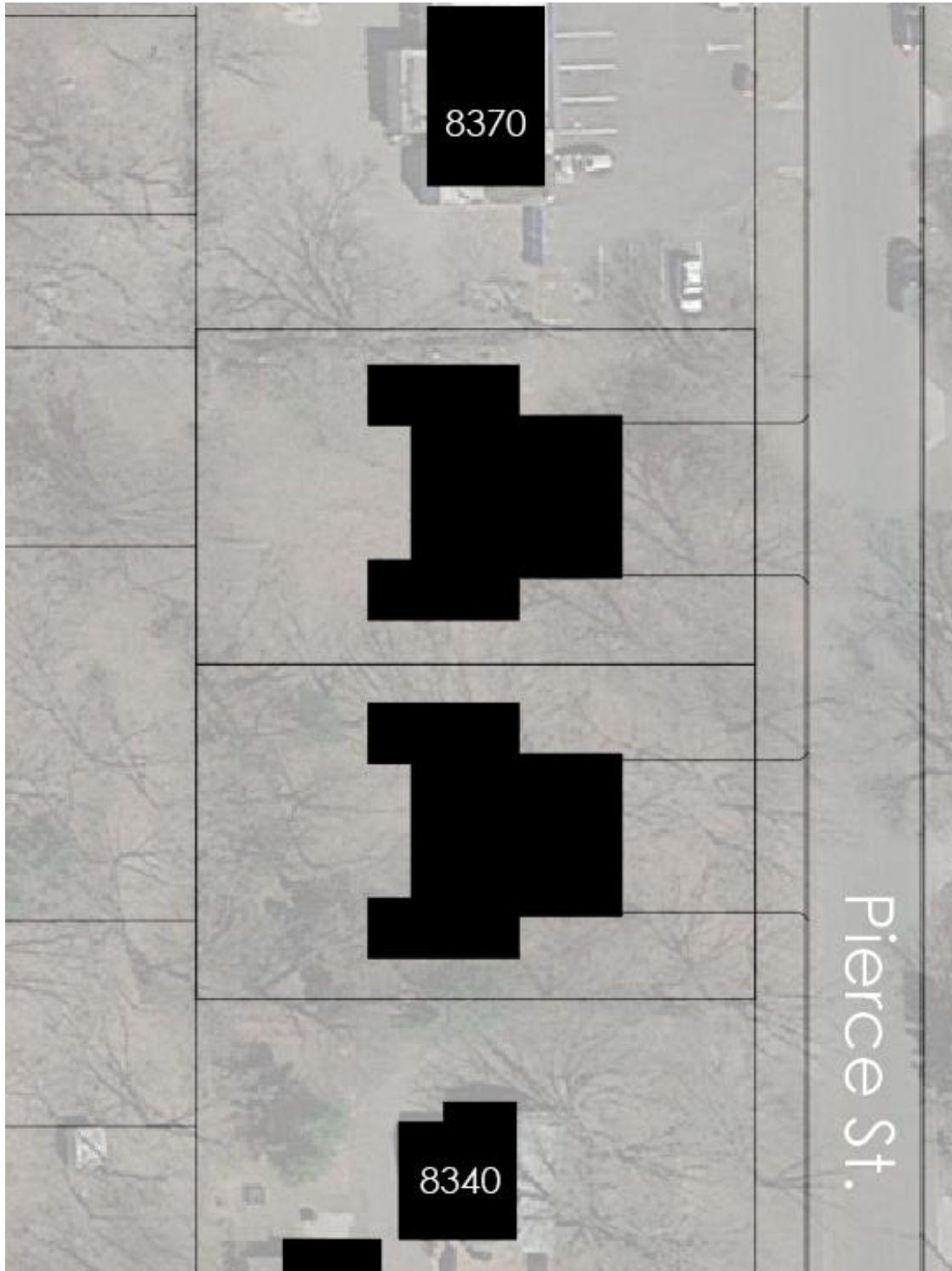
**Re: 8360 Pierce Street Twin Homes CUP and Variance**

## **RECOMMENDATION**

We recommend that the Planning Commission recommend to the City Council approval of the requests as follows:

1. Approval of a conditional use permit (CUP) for two twin-home structures in the R-1 zoning district at 8360 Pierce Street Northeast with the following conditions:
  - a. Additional grading plans and drainage plans will be provided to the Engineer before building permit approval, including the items specified below:
    - i. Details on site drainage need to be reviewed. The grading for each building shall be completed so that no additional runoff is diverted to any adjacent property.
    - ii. Details on the driveway, sewer and water service connections, and street patching need to be reviewed for each lot.
2. Approval of variances to the lot standards to allow 6750 square feet per unit versus the 7500 square feet required by code.

**Re: 8360 Pierce Street Twin Homes CUP and Variance**







**City of Spring Lake Park**  
 1301 81<sup>st</sup> Avenue NE  
 Spring Lake Park, MN 55432  
 763-784-6491 (p) 763-792-7257 (f)  
[info@slpmn.org](mailto:info@slpmn.org)

For Office Use Only	
Case Number:	
Fee Paid:	\$1,400.00
Received by:	KP
Date Filed:	
Date Complete:	
Base Fee:	500.00
Escrow:	<del>500.00</del> 900.00

## DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal <input type="checkbox"/> Comprehensive Plan Amendment <input type="checkbox"/> Ordinance Amendment (Text) <input type="checkbox"/> Rezoning <input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Site Plan/Building Plan Review <input type="checkbox"/> Conceptual Plan Review <input checked="" type="checkbox"/> Conditional Use Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Lot Combination <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 8360 Pierce St. SLP		
Property Identification Number (PIN#):		Current Zoning: R1
Legal Description (Attach if necessary):		
APPLICANT INFORMATION		
Name: Thomland Homes + Remodeling LLC		Business Name:
Address: 2115 N 3rd Ave Suite 200		
City: Anoka	State: MN	Zip Code: 55303
Telephone: 612 817 3693	Fax:	E-mail:
Contact: Mike - <a href="mailto:mike@thomlandhomesandremodeling.com">mike@thomlandhomesandremodeling.com</a>		Title: owner
OWNER INFORMATION (if different from applicant)		
Name: Eric Ollestad		Business Name: Value Homes
Address: 11806 Aberdeen St NE		
City: Blaine	State: MN	Zip Code: 55449
Telephone: 612 481 7841	Fax:	E-mail:
Contact: Eric	Title:	
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: R1 Single Family		
Nature of Proposed Use: Single Family <del>home</del> Twin homes		
Reason(s) to Approve Request: we were denied 6 townhomes and this is what works economically		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name: Pride Rock 6 unit Townhome		Date of Application: 7-5-18
Nature of Request: to rezone to R2		
<p><b>NOTE:</b> Applications only accepted with ALL required support documents.          See City Code</p>		



## APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

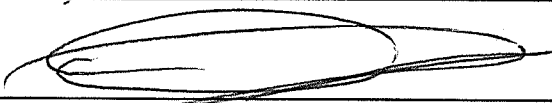
☐ E-mail \_\_\_\_\_ ☐ Fax \_\_\_\_\_ ☐ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant:  Date: 9-6-18

Owner:  Date: 9/6/18

**NOTE:** Applications only accepted with ALL required support documents.  
See City Code

**City of Spring Lake Park  
Variance Application**

A variance cannot be approved unless the Planning Commission and City Council find that the "practical difficulties" standard has been met. Please provide a response as to how/why your project will meet the following criteria. Use additional sheets if necessary and consult with the Zoning Administrator if you need clarification on the intent of any of the standards set below.

1. Applicant Information:

Name: Thornland Homes + Remodeling LLC

Telephone: 612 817 3693

Address: 2115 N 3rd Ave # Suite 200

Cell Phone: 612 817 3693

City/State/Zip: Anoka MN 55303

E-mail: Mike@ThornlandHomesandRemodeling.com

2. Property Owner Information (if different from above):

Name: Eric Ollestad

Telephone: \_\_\_\_\_

Address: 11806 Aberdeen St.

Cell Phone: 612 481 7841

City/State/Zip: Blaine MN

E-mail: Eric@valkehomesmn.com

3. Project Location (Address and Legal Description): 8360 Pierce St.

4. Present Use of Property: Single Family R1

5. Description of Project: 2 big vacant lots

6. Specify Section of the Ordinance from which variance is sought: we are roughly 1200 sq ft. short for building twin homes

7. Explain how you wish to vary from the applicable provisions of this Ordinance: we would like to build twin homes even though we are a very little short of needed property

8. Please attach a site plan or accurate survey as may be required by Ordinance.

9. **Practical Difficulties Test:** Please answer the following questions as they relate to your specific variance request.

a. In your opinion, is the variance in harmony with the purposes and intent of the Ordinance?

☒ Yes ☐ No Why or why not?

yes this is a good area for twin homes

b. In your opinion, is the variance consistent with the Comprehensive Plan?

☒ Yes ☐ No Why or why not?

yes with commercial property next to it the  
twin home fit the neighborhood

c. In your opinion, does the proposal put property to use in a reasonable manner?

☒ Yes ☐ No Why or why not?

There is commercial property next to this  
property and twin homes behind and a church  
across the street so twin homes fit for neighborhood

d. In your opinion, are there circumstances unique to the property? (physical characteristics of the property – i.e. sloping topography or other natural features like wetlands or trees)?

☐ Yes ☒ No Why or why not?

e. In your opinion, will the variance maintain the essential character of the locality?

☒ Yes ☐ No Why or why not?

yes as stated above this fits for the  
area economically

The Planning Commission must make an affirmative finding on all of the five criteria listed above in order to grant a variance. The applicant for a variance has the burden of proof to show that all of the criteria listed above have been satisfied.

The undersigned certifies that they are familiar with application fees and other associated costs and also with the procedural requirements of the City Code and other applicable ordinances.

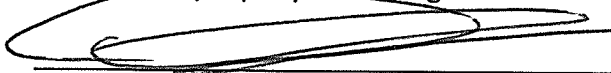
Applicant Signature:



Date:

9-6-18

Fee Owner's (Property Owner) Signature:



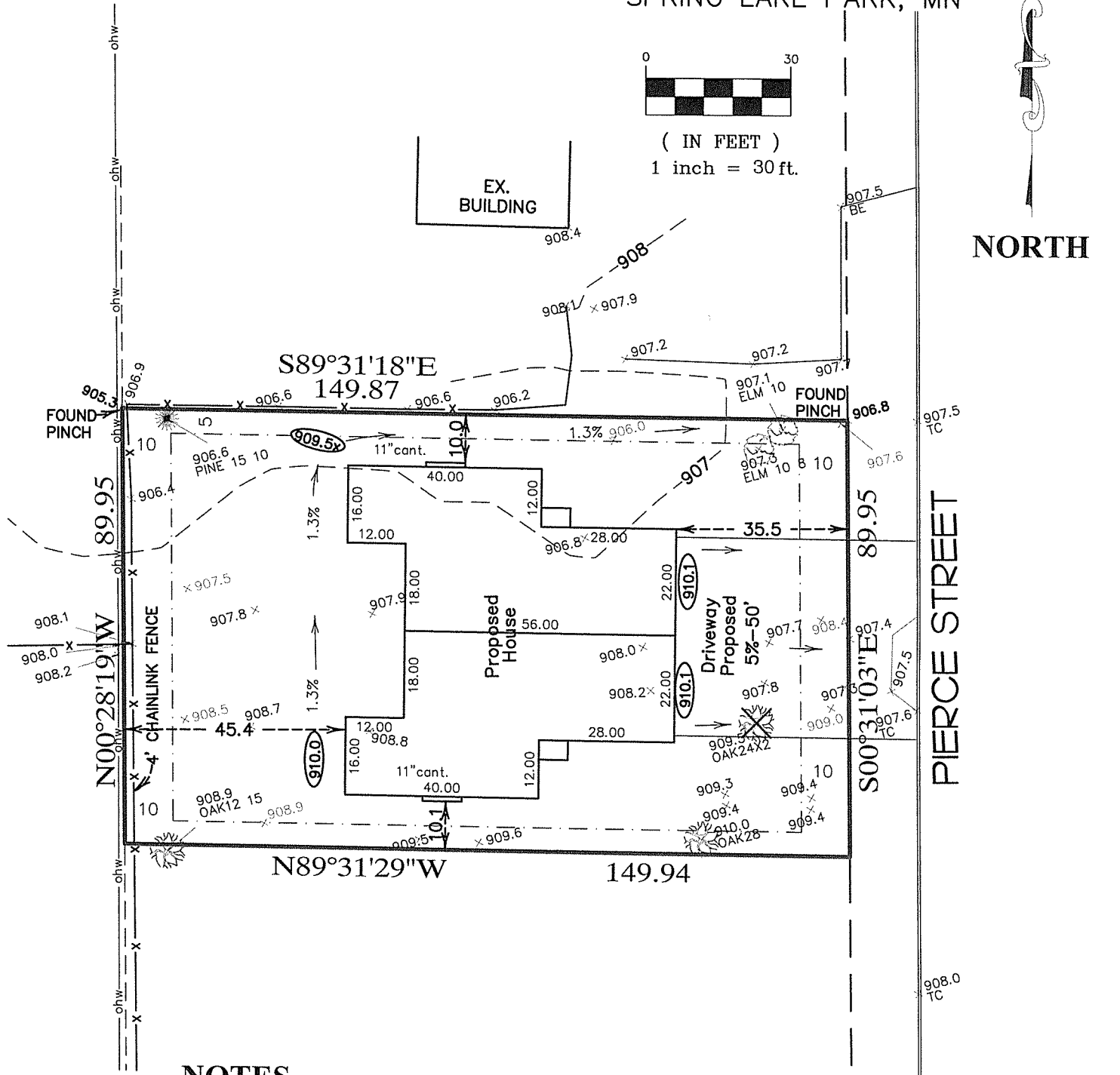
Date:

9/6/18

# CERTIFICATE OF SURVEY

**FOR: Value Homes**

PROPERTY ADDRESS:  
#83XX PIERCE ST. N.E.,  
SPRING LAKE PARK, MN



## NOTES

- BEARING'S SHOWN ARE ON ASSUMED DATUM.
- FIELD SURVEY COMPLETED 05/xx/18'.
- ELEVATIONS ON ASSUMED DATUM.
- CITY TO VERIFY ALL BUILDINGS ELEVATIONS AND SETBACKS.





- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- FINISHED GRADE 10 FEET FROM PROPOSED BUILDING SHALL BE 0.5 FEET LOWER THAN THE FINISHED GRADE AT THE BUILDING.
- FINISHED GRADE ELEVATIONS ARE TO FINISHED SURFACE WITH TURF ESTABLISHMENT.
- DRIVEWAYS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FINAL DRIVEWAY DESIGN AND LOCATION TO BE DETERMINED BY CONTRACTOR
- HOUSE PLACEMENT & ELEVATIONS SET BY OWNER.
- NO GRADING PLAN EXISTS FOR THIS PROPERTY. BUILDER RESPONSIBILITY TO RESEARCH GROUND WATER AND SOILS OF SITE. SOIL BORINGS MAY BE WARRANTED HOWEVER IS BUILDERS RESPONSIBILITY.

\*5 course lookout\*

## PROPOSED ELEVATIONS

GARAGE FLOOR = 910.1  
TOP OF BLOCK = 910.5  
LOWEST FLOOR = 907.3

(Meas. / / )  
**ASBUILT ELEVATIONS**

-  DENOTES CATCH BASIN  
 DENOTES PROPOSED ELEVATION.  
 x1011.2 DENOTES EXISTING ELEVATION.  
 DENOTES DIRECTION OF DRAINAGE.  
 DENOTES WOOD HUB/METAL SPIKE

Lot 1, Block 1, PRIDE ROCK, Anoka County, Minnesota.  
\*IT'S UNKNOWN IF ABOVE PLAT HAS BEEN RECORDED\*

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

# Job #1821HS

*Eric R. Vickaryous*  
ERIC R. VICKARYOVS

Date: May 8th, 18' Reg. No. 44125

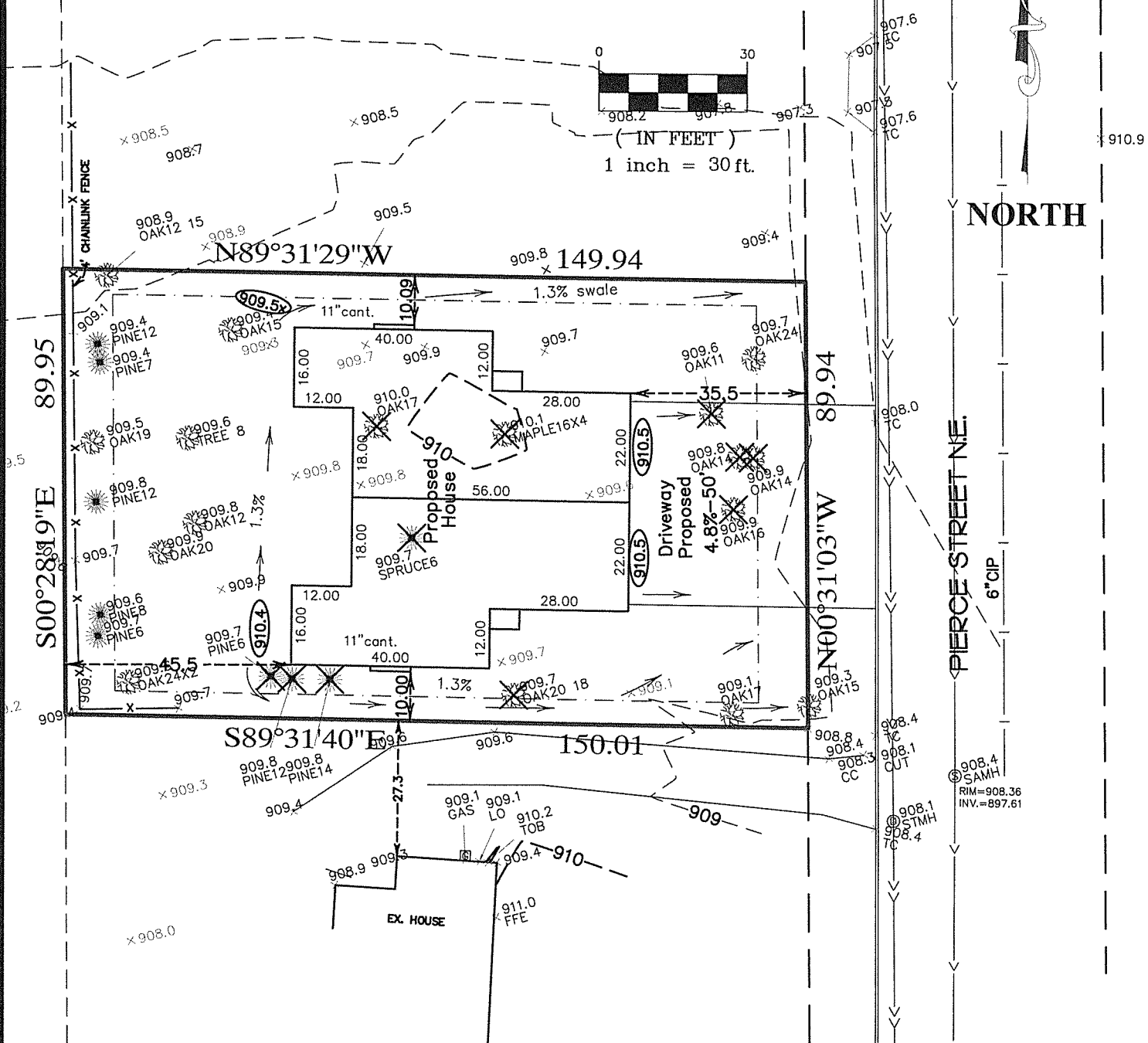
**ACRE LAND SURVEYING**  
Serving Twin Cities Metro  
area and beyond

**763-458-2997** acrelandsurvey@gmail.com

CERTIFICATE OF SURVEY

FOR: Value Homes

PROPERTY ADDRESS:  
#83XX PIERCE ST. N.E.,  
SPRING LAKE PARK, MN



NOTES

- BEARING'S SHOWN ARE ON ASSUMED DATUM.
- FIELD SURVEY COMPLETED 05/xx/18'.
- ELEVATIONS ON ASSUMED DATUM.
- CITY TO VERIFY ALL BUILDINGS ELEVATIONS AND SETBACKS.

- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- FINISHED GRADE 10 FEET FROM PROPOSED BUILDING SHALL BE 0.5 FEET LOWER THAN THE FINISHED GRADE AT THE BUILDING.
- FINISHED GRADE ELEVATIONS ARE TO FINISHED SURFACE WITH TURF ESTABLISHMENT.
- DRIVEWAYS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FINAL DRIVEWAY DESIGN AND LOCATION TO BE DETERMINED BY CONTRACTOR
- HOUSE PLACEMENT & ELEVATIONS SET BY OWNER.
- NO GRADING PLAN EXISTS FOR THIS PROPERTY. BUILDER RESPONSIBILITY TO RESEARCH GROUND WATER AND SOILS OF SITE. SOIL BORINGS MAY BE WARRANTED HOWEVER IS BUILDERS RESPONSIBILITY.

Lot 2, Block 1, PRIDE ROCK, Anoka County, Minnesota.  
\*IT'S UNKNOWN IF ABOVE PLAT HAS BEEN RECORDED\*

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

ERIC R. VICKARYOUS

Date: May 8th, 18' Reg. No. 44125

Job #18210HS

ACRE LAND SURVEYING  
Serving Twin Cities Metro  
area and beyond  
763-458-2997 acrelandsurvey@gmail.com

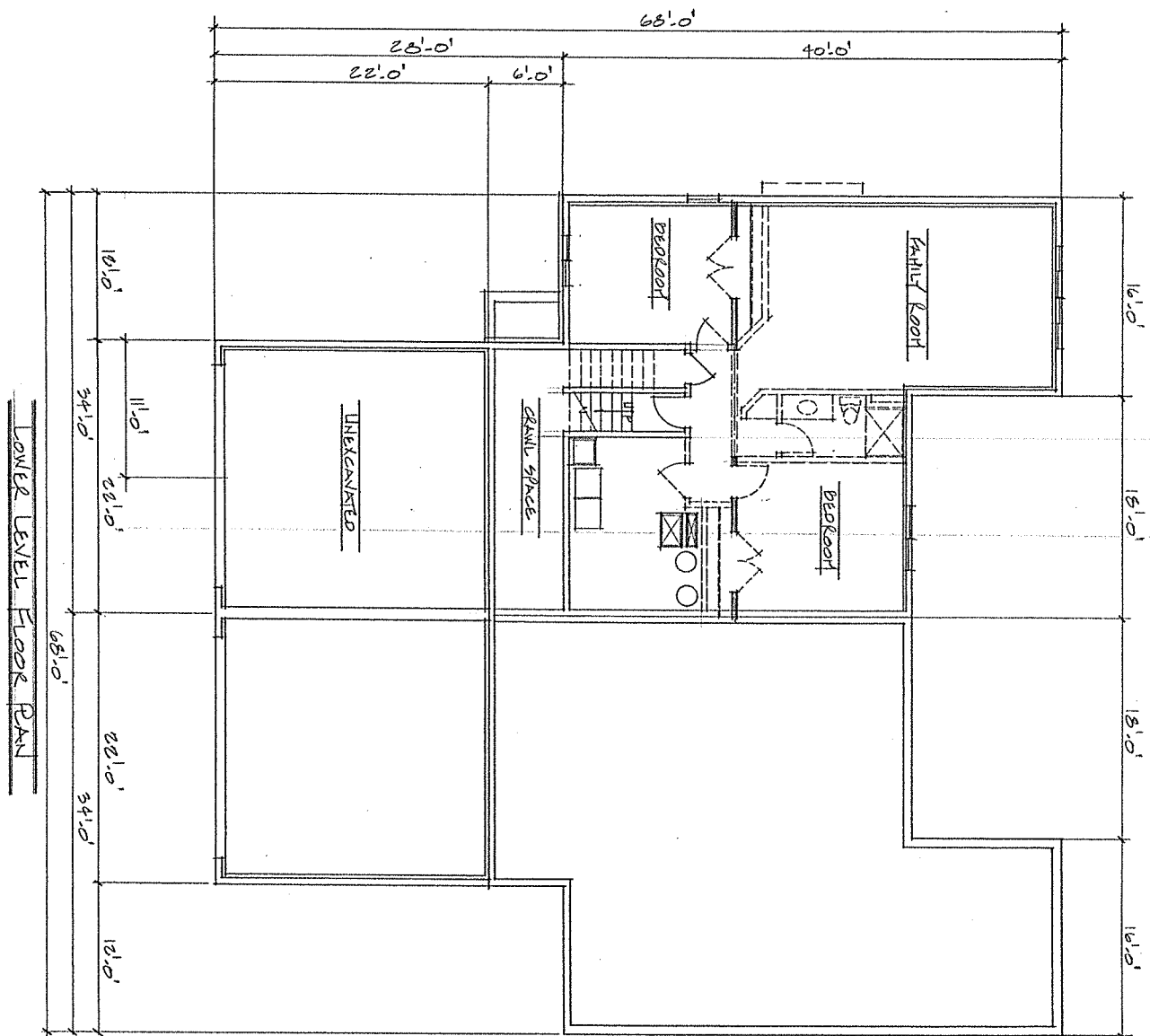







PLAN NUMBER 62-4-0715	B-BLOCK NUMBER 62-4-0715	<b>HOME PLANNING ASSOCIATES INC.</b>  11476 MARTIN STREET COON RAPIDS, MINNESOTA 55433 (763) 757-2800 Fax (763) 757-8766	8539 CENTRAL AVENUE NE SPRING LAKE PARK, MINNESOTA 55432 (763) 786-6069 Fax (763) 786-6660 SPRING LAKE PARK LUMBER BLDG.	PLAN FOR:	
				DATE:	SQ. FT.:
612-481-7941 eric@valuehomesmn.com					





NOTES: THESE PLANS ARE PREPARED BY THE ARCHITECT FOR THE USE OF THE HOMEPLANNING ASSOCIATES, INC. AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. ANY CHANGES TO THESE PLANS MUST BE MADE BY THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR DAMAGE TO THE PROPERTY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER MATTERS ARISING OUT OF THE USE OF THESE PLANS.

REV	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT

SHEET NUMBER PLAN NUMBER	<b>HOME PLANNING ASSOCIATES INC.</b> 1476 MARTIN STREET COON RAPIDS, MINNESOTA 55433 (763) 757-2000 fax (763) 757-0705	<b>VALUE HOMES OF MINNESOTA</b> ERIC OLLESTAD 612-481-7841 eric@valuehomesmn.com	PLAN FOR:	
			DATE:	SQ. FT.:

6. Public Hearings – Lot Size Variance and Conditional Use Permit to Permit Twin Homes on Lots 1 and 2, Pride Rock Addition – Thomland Homes

Chairperson Hansen inquired if there was any objection to conducting the public hearings jointing since the variance and conditional use permit will pertain to the same lots. There was no objection from the Commission.

Administrator Buchholtz reported that Thomland Homes and Remodeling, LLC has submitted a Conditional Use Permit (CUP) application and a Variance application for the construction of two twin-home structures (two duplexes) with one structure on each of two lots, four units total, at 8360 Pierce Street. He reported that an earlier CUP application was filed on May 8, 2018, but was withdrawn by the applicant.

Administrator Buchholtz reported that in January 2018, the property was re-platted to allow for two single-family lots and at that time, the applicant stated that the existing house and garage would be removed to make way to build two new houses. He stated that the demolition has since taken place but the applicant has determined construction of two single-family homes is economically unfeasible.

Administrator Buchholtz stated that the property is zoned R-1 Single Family Residence. He stated that it was guided Commercial in the City's 2030 Land Use Plan but has been changed to Single Family Residential in the 2040 Land Use Plan. He stated that twin homes are a conditional use in the R-1 zoning district. He stated that additionally, the proposal does not meet the minimum lot area for twin homes, therefore variances are also required.

Administrator Buchholtz stated that the proposed construction of the two twin-home structures on 8360 Pierce Street NE requires two approvals:

- Conditional Use Permit (CUP) – Twin homes are allowed as a conditional use subject to the approval and contingent on stipulations set forth by the Planning Commission and City Council.
- Variance - A minimum lot area of 7,500 square feet is required for each two-family dwelling unit but only 6,750 square feet per unit are available. A variance to minimum lot area is requested.

Administrator Buchholtz stated that Section §153.202 of the City of Spring Lake Park's zoning code outlines the requirements to approve a conditional use permit by the City Council, provided the applicant has provided evidence establishing the requirements. He summarized the questions and criteria answered by the applicant. He reported that the applicant stated that the proposed use, two side-by-side twin homes on each of the two lots, will be beneficial to the community as it will allow for four new residential units and families to join the community, rather than the two total units permitted by the zoning district. He stated that the applicant believes that the addition of the four homes will increase property values along Pierce Street. He stated that the applicant feels that the proposed four new units will not substantially increase traffic along Pierce Street or surrounding streets.

Administrator Buchholtz reported that Section §153.224 of the City of Spring Lake Park's zoning code requires that practical difficulty be proven for the approval of a variance. He reviewed the practical difficulties and responses from the applicant.

Administrator Buchholtz stated staff recommends that the Planning Commission recommend to the City Council approval of the requests as follows:

1. Approval of a conditional use permit (CUP) for two twin-home structures in the R-1 zoning district at 8360 Pierce Street Northeast with the following conditions:

- a. Additional grading plans and drainage plans will be provided to the Engineer before building permit approval, including the items specified below:
  - i. Details on site drainage need to be reviewed. The grading for each building shall be completed so that no additional runoff is diverted to any adjacent property.
  - ii. Details on the driveway, sewer and water service connections, and street patching need to be reviewed for each lot.
2. Approval of variances to the lot standards to allow 6750 square feet per unit versus the 7500 square feet required by code.

Commissioner Eischens inquired if the driveway will be shared and if there will be a divider on the driveway. Building Official Brainard stated that a divider is not required on shared driveways. He stated a divider is required for shared decks.

Mike Thomas, Thomland Homes, reported that there will be private decks in the back with a divider wall between them. He stated that the driveway will be combined for the two units with no divider. He stated that the plans are set for three or four bedroom twin home with a finished basement. He stated that the goal is sell the unit to families.

Chairperson Hansen opened the public hearing at 7:35 PM.

Donna Eiler, 8301 Pierce Street NE, inquired if the units were going to be rental units or purchased units. Mr. Thomas stated that the homes will be marketed for purchase.

Ms. Eiler inquired if a fence will be put up similar to what has been placed on the property to block the commercial property. Mr. Thomas stated that one would be erected if it is required. He stated that Thomland Homes will work with the neighbors to assure the new twin homes fit into the neighborhood.

Ms. Eiler expressed that she would have rather have two single family homes built in the area, as traffic is significant concern of hers as well as the neighborhood. She requested that signage be placed stating that Pierce Street is not a through street for everyday traffic.

Barbara Goodboe-Bisschoff inquired on how long the driveway will be from the right of way. Administrator Buchholtz stated that 35 ½ feet will be the length of the driveway plus the right of way distance of 15 feet from the curb.

Mr. Thomas explained that there will be one driveway per unit that will be shared. He stated that the driveways between the other twin home would be a good distance apart with a break in between.

Ms. Goodboe-Bisschoff inquired on the statements noted on the plans regarding the placement of the homes by the owner and final driveway comments by the contractor. Mr. Thomas explained that the statements on the plans will be reviewed with the Building Official and Engineer on setbacks for the home and the surveyor for the best placement of the home. He stated that the homes will be centered as best they can be and will have the surveyor determine the drainage for the sites.

Chairperson Hansen asked for additional discussion from the floor. Hearing none, the public hearing was closed at 7:45 PM.

MOTION MADE BY COMMISSIONER DIRCKS, SECOND BY EISCHENS TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT TO PERMIT TWIN HOMES ON LOTS 1 AND 2, PRIDE ROCK ADDITION WITH THE FOLLOWING CONDITIONS: 1.) ADDITIONAL GRADING PLANS AND DRAINAGE PLANS WILL BE PROVIDED TO THE ENGINEER BEFORE BUILDING PERMIT APPROVAL, INCLUDING THE FOLLOWING ITEMS A.) DETAILS ON SITE DRAINAGE NEED TO BE REVIEWED. THE GRADING FOR EACH BUILDING SHALL BE COMPLETED SO THAT NO ADDITIONAL RUNOFF IS DIVERTED TO ANY ADJACENT PROPERTY; B.) DETAILS ON THE DRIVEWAY, SEWER AND WATER SERVICE CONNECTIONS, AND STREET PATCHING NEED TO BE REVIEWED FOR EACH LOT. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

MOTION MADE BY COMMISSIONER EISCHENS, SECOND BY COBBS TO RECOMMEND APPROVAL OF LOT SIZE VARIANCE TO PERMIT TWIN HOMES ON LOTS 1 AND 2, PRIDE ROCK ADDITION SUBJECT TO THE APPROVAL OF VARIANCES TO THE LOT STANDARDS TO ALLOW 6750 SQUARE FEET PER UNIT VERSES THE 7500 SQUARE FEET REQUIRED BY CODE. ROLL CALL VOTE: ALL AYES. MOTION CARRIED.

#### 7. Other

##### A. Special Planning Commission Meeting – Monday, October 1, 2018 at 6:00 PM

Administrator Buchholtz reported that the Planning Commission will be holding a special Planning Commission meeting to hold a public hearing for Pro Courier located at 8370 Sunset Road NE for a conditional use permit to operate a cartage/freight terminal and truck repair facility on the property.

#### 8. Adjourn

MOTION BY CHAIRPERSON HANSEN TO ADJOURN. VOICE VOTE: ALL AYES. MOTION CARRIED.

The meeting adjourned at 7:50 PM.



## **RESOLUTION NO. 18-41**

### **A RESOLUTION APPROVING A LOT SIZE VARIANCE FOR LOT 2 BLOCK 1 PRIDE ROCK ADDITION TO ALLOW CONSTRUCTION OF A TWIN HOME**

**WHEREAS,** Thomland Homes has made a request for a variance from the City's minimum lot size requirement in the R-1, Single Family Residential, District to allow for the construction of a twin home on an undersized lot; and

**WHEREAS,** the property is legally described as follows:

Lot 2 Block 1 Pride Rock Addition, subject to easement of record; and

**WHEREAS,** the owner of the property is Eric Ollestad, Value Homes; and

**WHEREAS,** mailed and published notice of a public hearing to consider the proposed variance was given; and

**WHEREAS,** a public hearing to consider the proposed variance was held on September 24, 2018; and

**WHEREAS,** the request was made to permit the construction of a twin home on an approximately 13,500 square foot lot (6,750 square feet per unit), which is below the minimum lot size requirement of 15,000 square feet (7,500 square feet per unit); and

**WHEREAS,** the Planning Commission has considered the application against the practical difficulties test as outlined in Section 153.224 of the Spring Lake Park Zoning Code; and

**WHEREAS,** the Planning Commission has recommended approval subject to reasonable conditions; and

**WHEREAS,** the Spring Lake Park City Council has reviewed the application and hereby accepts the findings and recommendation of the Spring Lake Park Planning Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves the request of Thomland Homes for a variance reducing the lot standards to allow 6,750 square feet per unit versus the 7,500 square feet per unit that is required under City Code for Lot 2 Block 1 Pride Rock Addition.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: Councilmembers.

And the following voted against the same: .

Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, City Administrator

**RESOLUTION NO. 18-42**

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR LOT 1 BLOCK 1  
PRIDE ROCK ADDITION TO PERMIT THE CONSTRUCTION OF A TWO FAMILY  
DWELLING**

**WHEREAS**, Thomland Homes has made application for a conditional use permit to allow a two family dwelling within the R-1, Single Family Residential, District; and

**WHEREAS**, the property is legally described as follows:

Lot 1 Block 1 Pride Rock Addition, subject to easement of record; and

**WHEREAS**, mailed and published notice of a public hearing to consider the proposed conditional use permit was given; and

**WHEREAS**, a public hearing to consider the proposed conditional use permit was held by the Planning Commission on September 24, 2018; and

**WHEREAS**, the Planning Commission has recommended approval of the conditional use permit, subject to conditions.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves a conditional use permit to permit a two family dwelling on Lot 1 Block 1 Pride Rock Addition, subject to the following conditions:

1. Additional grading plans and drainage plans will be provided to the City Engineer before building permit approval, including the items specified below:
  - a. Details on site drainage need to be reviewed. The grading for the building shall be completed so that no additional runoff is diverted to any adjacent property.
  - b. Details on the driveway, sewer and water service connections, and street patching need to be reviewed for the lot.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: .

And the following voted against the same: n.



Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, Administrator, Clerk/Treasurer

**RESOLUTION NO. 18-43**

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR LOT 2 BLOCK 1  
PRIDE ROCK ADDITION TO PERMIT THE CONSTRUCTION OF A TWO FAMILY  
DWELLING**

**WHEREAS**, Thomland Homes has made application for a conditional use permit to allow a two family dwelling within the R-1, Single Family Residential, District; and

**WHEREAS**, the property is legally described as follows:

Lot 2 Block 1 Pride Rock Addition, subject to easement of record; and

**WHEREAS**, mailed and published notice of a public hearing to consider the proposed conditional use permit was given; and

**WHEREAS**, a public hearing to consider the proposed conditional use permit was held by the Planning Commission on September 24, 2018; and

**WHEREAS**, the Planning Commission has recommended approval of the conditional use permit, subject to conditions.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves a conditional use permit to permit a two family dwelling on Lot 2 Block 1 Pride Rock Addition, subject to the following conditions:

1. Additional grading plans and drainage plans will be provided to the City Engineer before building permit approval, including the items specified below:
  - a. Details on site drainage need to be reviewed. The grading for the building shall be completed so that no additional runoff is diverted to any adjacent property.
  - b. Details on the driveway, sewer and water service connections, and street patching need to be reviewed for the lot.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: .

And the following voted against the same: n.

Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, Administrator, Clerk/Treasurer

## **RESOLUTION NO. 18-44**

### **A RESOLUTION APPROVING A CONDITIONAL USE PERMIT AND SITE PLAN APPROVAL FOR PROCOURIER, 8370 SUNSET ROAD, TO PERMIT THE CONSTRUCTION OF A FACILITY FOR EXPRESS/CARTAGE SERVICES**

**WHEREAS**, Greg Erickson, ProCourier, has made application for a conditional use permit to allow a express/cartage services business in the I-1, Light Industrial, zoning district and for site plan approval for construction of a 3,000 square foot office and truck repair facility; and

**WHEREAS**, the property is legally described as follows:

Lot 29, Spring Lake Park Plat A, subject to easement of record; and

**WHEREAS**, mailed and published notice of a public hearing to consider the proposed conditional use permit was given; and

**WHEREAS**, a public hearing to consider the proposed conditional use permit was held by the Planning Commission on October 1, 2018; and

**WHEREAS**, the Planning Commission has recommended approval of the conditional use permit, subject to conditions; and

**WHEREAS**, the City Council considered the Commission's recommendation on the epress/cartage services use and reviewed the site plan application at its October 1, 2018 meeting.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves a conditional use permit to ProCourier to permit a cartage/express services business at 8370 Sunset Road, subject to the following conditions:

1. Applicant shall comply with the following engineering comments as specified in the October 1, 2018 staff memorandum:
  - a. **Permits.** The applicant shall be responsible for obtaining all necessary site permits including permits from the Coon Creek Watershed District (CCWD) and MPCA stormwater permits.
  - b. **Stormwater.** The stormwater management facilities on the site shall be considered private. Maintenance of the stormwater management facilities shall be the responsibility of the property owner.
  - c. **Stormwater.** The applicant shall provide the City with a signed copy of the CCWD required Maintenance Agreement for the stormwater management facilities.
  - d. **Sanitary Sewer.** Sanitary sewer service for the site shall be as directed by the Public Works Director and installed in accordance with the requirements of the Public Works Director.

- e. **Water main.** Water service for the site shall be as directed by the Public Works Director and installed in accordance with the requirements of the Public Works Director. Water main connection shall be completed by cutting in a 6x6 tee.
  - f. **Removals.** Existing sewer and water service lines to the site shall be abandoned in accordance with the requirements of the Public Works Director.
  - g. **Street patching.** Curb replacement and street patching shall match the existing and shall be completed per the requirements of the Public Works Director
2. The character of Sunset Road NE includes mature deciduous trees lining the corridor. The applicant shall plant deciduous trees in the area identified for seed mix along Sunset Road NE to the satisfaction of the Zoning Administrator.

**BE IT FURTHER RESOLVED** that the City Council hereby grants site plan approval consistent with the plans submitted by the applicant dated July 30, 2018.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof: .

And the following voted against the same: .

Whereon the Mayor declared said Resolution duly passed and adopted the 1st day of October, 2018.

APPROVED BY:

---

Cindy Hansen, Mayor

ATTEST:

---

Daniel R. Buchholtz, Administrator, Clerk/Treasurer

---

To:	City Council	From:	Phil Carlson, Phil Gravel,
	City of Spring Lake Park		Stantec
File:	Pro Courier – Conditional Use Permit	Date:	October 1, 2018

---

Re: **Pro Courier CUP | 8370 Sunset Road NE**

## BACKGROUND

Pro Courier is currently located at 8375 Sunset Road NE and would like to move their business across the street to 8370 Sunset Road NE. The property is guided Industrial and zoned I-1: Light Industrial. “Express” and “cartage” services are considered a Conditional Use in this zoning district.

The site is located on the west side of Sunset Road NE and just east of the Highway 10/Central Avenue NE interchange. To the west is the Spring Lake Park Lumber Company and to the east (and south of the existing Pro Courier location) is Aggressive Industries, a manufacturer of rotationally molded products.

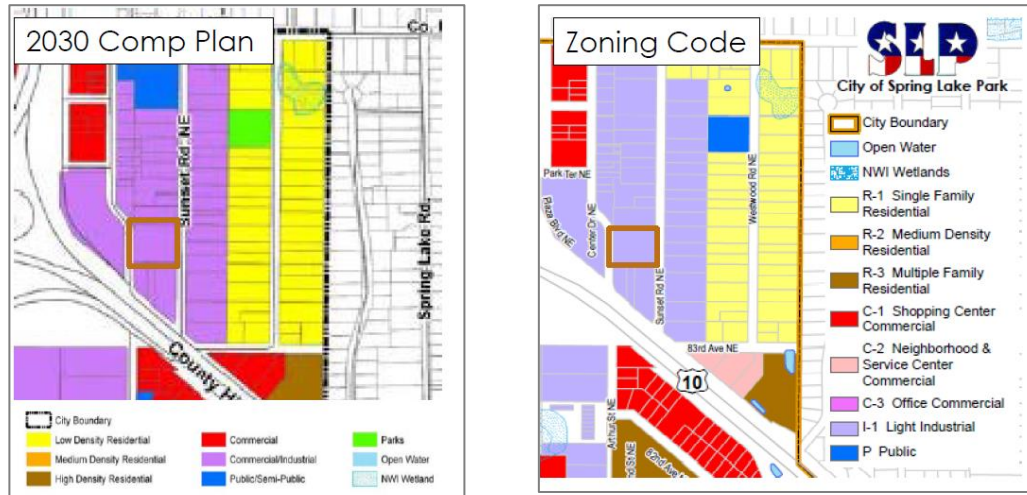


This project was considered at a special meeting of the Planning Commission prior to the City Council meeting on October 1, 2018.

## PLANNING ISSUES DISCUSSION

- 1) **Comprehensive Plan and Zoning.** The property is guided Commercial/Industrial in the 2030 Comprehensive Plan. The zoning is I-1: Light Industrial which limits uses to administrative, wholesaling, manufacturing, and related commercial uses.

**Reference: Pro Courier CUP | 8370 Sunset Road NE**



Other requirements for property in the I-1 district include:

- Must provide suitable open spaces, landscaping, and parking areas (§153.056).
- Must establish a high standard of appearance and controls for external effects (such as noise, smoke, and the like) (§153.056).
- If any yards are to be landscaped, they shall be landscaped attractively with lawns, trees, shrubs, and the like. Any areas left in a natural state shall be properly maintained in a sightly and well-kept condition (§153.058).
- Impervious surfaces shall not cover more than 75 % of any zoning lot located in the commercial or industrial districts. The remainder of the zoning lot shall be covered with turf grass, native grasses, perennial flowering plants, shrubs, trees or similar landscape material sufficient to prevent soil erosion, minimize off-site stormwater runoff, and encourage natural filtration function (§153.063)

As noted above, performance standards also apply to buildings within the Light Industrial District, as guided in §153.100. These standards regulate noise, odor, exterior lighting, glare, vibration, fumes and gases, smoke, dust, hazards, and visual impacts. The site plan review process implements these regulations to ensure that development is compatible with neighboring properties and that negative external impacts are minimized.

- 2) **Application Request.** The site is 78,221 square feet and is currently a gravel parking lot. The request is to build a 3,000 square foot structure with the site primarily used for parking. The attached site plan shows 85 standard-size parking stalls and 21 stalls that are 40 feet deep to accommodate delivery vehicles. The maximum required impervious surface coverage for properties in the Commercial and Industrial districts is 75% - the proposal is for 74.8%.
- 3) **Landscaping Plan.** The Paving and Restoration Plan shows turf along the edges of the property with additional turf and seed mix in the northwest corner and along Sunset Road NE between the proposed structure and the street. Existing trees line the length of the south property line and the southern half of the west property line – the plans show these maintained.
- 4) **Conditional Use Permit.** Section §153.202 of the City of Spring Lake Park's zoning code outlines the requirements to approve a conditional use permit. This application has been analyzed with respect to those

**Reference: Pro Courier CUP | 8370 Sunset Road NE**

requirements, listed below. The City Council may then authorize the conditional use permit, provided the applicant has provided evidence establishing the following:

**(a) The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;**

Pro Courier is located across the street from the proposed location in an area dominated by industrial uses. Industrial users in Spring Lake Park provide necessary jobs for residents within the community and surrounding cities.

**(b) The use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity;**

The business is staying in an area of the city designated for industrial uses while moving from one side of Sunset Road NE to the other. While a handful of homes line Sunset Road NE, the majority of sites are used for warehousing and manufacturing. Commercial vehicles have direct access to County Road J to the north and the Highway 10 Service Road to the south so little traffic should impede on neighboring areas.

**(c) The proposed use will comply with the regulations specified in this chapter for the district in which the proposed use is to be located;**

The proposed use is compliant with all applicable standards in the I-1 Industrial district.

**(d) The use is one of the conditional uses specifically listed for the district in which it is to be located;**

"Express" and "cartage" services are considered a Conditional Use in the I-1 Industrial zoning district.

**(e) The proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity;**

The site is vacant with two paved driveways that meet in a U shape in the back of the property. Currently cars park in these driveways, presumably for adjacent business employees. Pro Courier will make improvements to the site and eliminate any unintended use of a vacant site. Additionally, as stated above, commercial traffic will have direct access to County Road J and the Highway 10 Service Road without needing to travel on any neighborhood streets.

**(f) The use will not lower property values or impact scenic views in the surrounding area;**

Considering the area is designated for industrial uses and zoned accordingly, the proposed use will not unduly impact property values. No scenic views exist.

**(g) Existing streets and highways and proposed access roads will be adequate to accommodate anticipated traffic;**

Sunset Road NE is a designated Major Collector road which is based on the adjacent uses and accompanying traffic. Sunset is a short section of roadway that leads directly to two minor arterial roads that have a primary purpose of relieving congestion from TH65. As a Collector, Sunset Road NE balances access to properties with the through-movement of traffic. This system of roadways supports this specific location for industrial uses because any trucks and other commercial vehicles can exit the area efficiently.



**Reference:** Pro Courier CUP | 8370 Sunset Road NE

**(h) Sufficient off-street parking and loading space will be provided to serve the proposed use;**

The applicant is supplying adequate parking for employees, delivery vehicles, and loading.

**(i) The use includes adequate protection for the natural drainage system and natural topography;**

The City Engineer has reviewed the proposed drainage plan and identifies further action for the applicant below.

**(j) The proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance; and**

Pro Courier is a delivery service. It will not require measures to mitigate odor, fumes, dust, noise, and vibrations.

**(k) The proposed use will not stimulate growth incompatible with prevailing density standards.**

The applicant is not proposing any residential units as part of the project.

## ISSUES AND CONCERNS

### Engineering Comments

The City Engineer reviewed the Conditional Use Permit application and identified issues to be resolved before construction. These issues include property, permits, water and stormwater, grading, and access and circulation. All comments are listed below.

- **Permits.** The applicant shall be responsible for obtaining all necessary site permits including permits from the Coon Creek Watershed District (CCWD) and MPCA stormwater permits.
- **Stormwater.** The stormwater management facilities on the site shall be considered private. Maintenance of the stormwater management facilities shall be the responsibility of the property owner.
- **Stormwater.** The applicant shall provide the City with a copy of the CCWD required Maintenance Agreement for the stormwater management facilities.
- **Sanitary sewer.** Sanitary sewer service for the site shall be as directed by the Public Works Director and installed in accordance with the requirements of the Public Works Director.
- **Water main.** Water service for the site shall be as directed by the Public Works Director and installed in accordance with the requirements of the Public Works Director. Water main connection shall be completed by cutting gin a 6x6 tee.
- **Removals.** Existing sewer and water service lines to the site shall be abandoned in accordance with the requirements of the Public Works Director.
- **Street patching.** Curb replacement and street patching shall match the existing and shall be completed per the requirements of the Public Works Director.

No comments provided regarding parking layout, lighting, or landscaping.

## RECOMMENDATIONS

The Planning Commission recommends the City Council approve the Conditional Use Permit at 8370 Sunset Road NE with the following conditions, based on the analysis provided by Planning staff and the City Engineer:

- 1) The character of Sunset Road NE includes mature deciduous trees lining the corridor. The applicant shall plant deciduous trees in the area identified for seed mix along Sunset Road NE to the satisfaction of the Zoning Administrator.

October 1, 2018

City Council

Page 5 of 5

**Reference: Pro Courier CUP | 8370 Sunset Road NE**

- 2) The applicant shall comply with all comments from the City Engineer above.





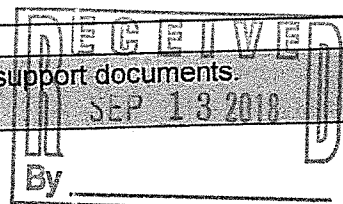
**City of Spring Lake Park**  
1301 81<sup>st</sup> Avenue NE  
Spring Lake Park, MN 55432  
763-784-6491 (p) 763-792-7257 (f)  
[info@slpmn.org](mailto:info@slpmn.org)

**For Office Use Only**

Case Number: \_\_\_\_\_  
Fee Paid: \_\_\_\_\_  
Received by: \_\_\_\_\_  
Date Filed: \_\_\_\_\_  
Date Complete: \_\_\_\_\_  
Base Fee: \_\_\_\_\_ Escrow: \_\_\_\_\_

**DEVELOPMENT APPLICATION**

<b>TYPE OF APPLICATION</b> (Check All That Apply)		
<input type="checkbox"/> Appeal	<input checked="" type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
<b>PROPERTY INFORMATION</b>		
Street Address: <u>8370 Sunset Road NE</u>		
Property Identification Number (PIN#): <u>01-30-24-11-0086</u>		Current Zoning: _____
Legal Description (Attach if necessary): <u>Anoka County - Township 30 - Range 24 - Section 1</u>		
<b>APPLICANT INFORMATION</b>		
Name: <u>Greg Erickson</u>		Business Name: <u>ProCairer</u>
Address: <u>8375 Sunset Road NE</u>		Zip Code: <u>55432</u>
City: <u>Spring Lake Park</u>	State: <u>MN</u>	E-mail: <u>greg@procairerinc.com</u>
Telephone: <u>763-571-8811</u>	Fax: _____	Title: <u>Owner</u>
Contact: <u>Greg Erickson</u>		
<b>OWNER INFORMATION</b> (if different from applicant)		
Name: _____		Business Name: _____
Address: <u>(Same as above)</u>		Zip Code: _____
City: _____	State: _____	E-mail: _____
Telephone: _____	Fax: _____	Title: _____
Contact: _____		
<b>DESCRIPTION OF REQUEST</b> (attach additional information if needed)		
Existing Use of Property: <u>gravel parking lot</u>		
Nature of Proposed Use: <u>paved parking lot</u>		
Reason(s) to Approve Request: <u>(community improvement)</u>		
<b>PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE</b>		
Project Name: <u>n/a</u>		Date of Application: <u>9-12-18</u>
Nature of Request: _____		
<b>NOTE:</b> Applications only accepted with ALL required support documents. See City Code		



### APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

☒ E-mail greg@procourierinc.com ☐ Fax \_\_\_\_\_ ☐ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: X  Date: 9-12-18

Owner: X  Date: 9-12-18

**NOTE:** Applications only accepted with ALL required support documents.  
See City Code

Pro Carrier

**City of Spring Lake Park  
Conditional Use Permit Worksheet**

A conditional use permit cannot be approved unless the Planning and Zoning Commission and the City Council make certain findings and recommendations. Please provide a response on how/why your project meets the below stated criteria. Use additional sheets if necessary. If some items are not applicable for your project, write N/A. Contact the Zoning Administrator with any questions.

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community. THIS project  
allows our business to stay in Spring Lake  
Park. We currently employ around 45  
people that spend money in the community.
2. That the use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity of the use or injurious to property values/improvements within the vicinity of the use. Will not be detrimental in any  
of these areas.
3. That the proposed use will comply with the regulations specified in Chapter 153 of the Zoning Code. our project complies with these  
regulations.
4. That the proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity. It will not have a detrimental  
effect on our neighbors.

5. That the use will not lower property values or impact scenic views in the surrounding area. \_\_\_\_\_  
Our business will not lower the property  
values or impact scenic views.  
\_\_\_\_\_  
\_\_\_\_\_
6. That existing utilities, streets, highways and proposed access roads will be adequate to accommodate anticipated traffic. The traffic will remain  
unchanged as we currently operate  
on the same street.  
\_\_\_\_\_  
\_\_\_\_\_
7. That the use includes adequate protection for the natural drainage system and natural topography. Our civil engineers have designed a  
storm water management plan that  
has been approved by CCWD.  
\_\_\_\_\_  
\_\_\_\_\_
8. That the proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration so that none of these will constitute a nuisance. The area  
is currently a gravel parking lot and  
we want to improve it to a bituminous  
parking lot.  
\_\_\_\_\_  
\_\_\_\_\_
9. That the proposed use will not stimulate growth incompatible with prevailing density standards.  
n/a  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PRO COURIER

CONSTRUCTION PLANS FOR SITE GRADING, SANITARY SEWER, WATERMAIN, STORM SEWER,  
CONCRETE CURB AND GUTTER, BITUMINOUS PAVING AND MISCELLANEOUS CONSTRUCTION  
FOR WELSH CONSTRUCTION  
IN THE CITY OF SPRING LAKE PARK

GOVERNING SPECIFICATIONS

THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION  
"STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

THE 2013 EDITION OF THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA  
"STANDARD SPECIFICATIONS" SHALL GOVERN FOR SANITARY SEWER AND  
WATERMAIN WORK.

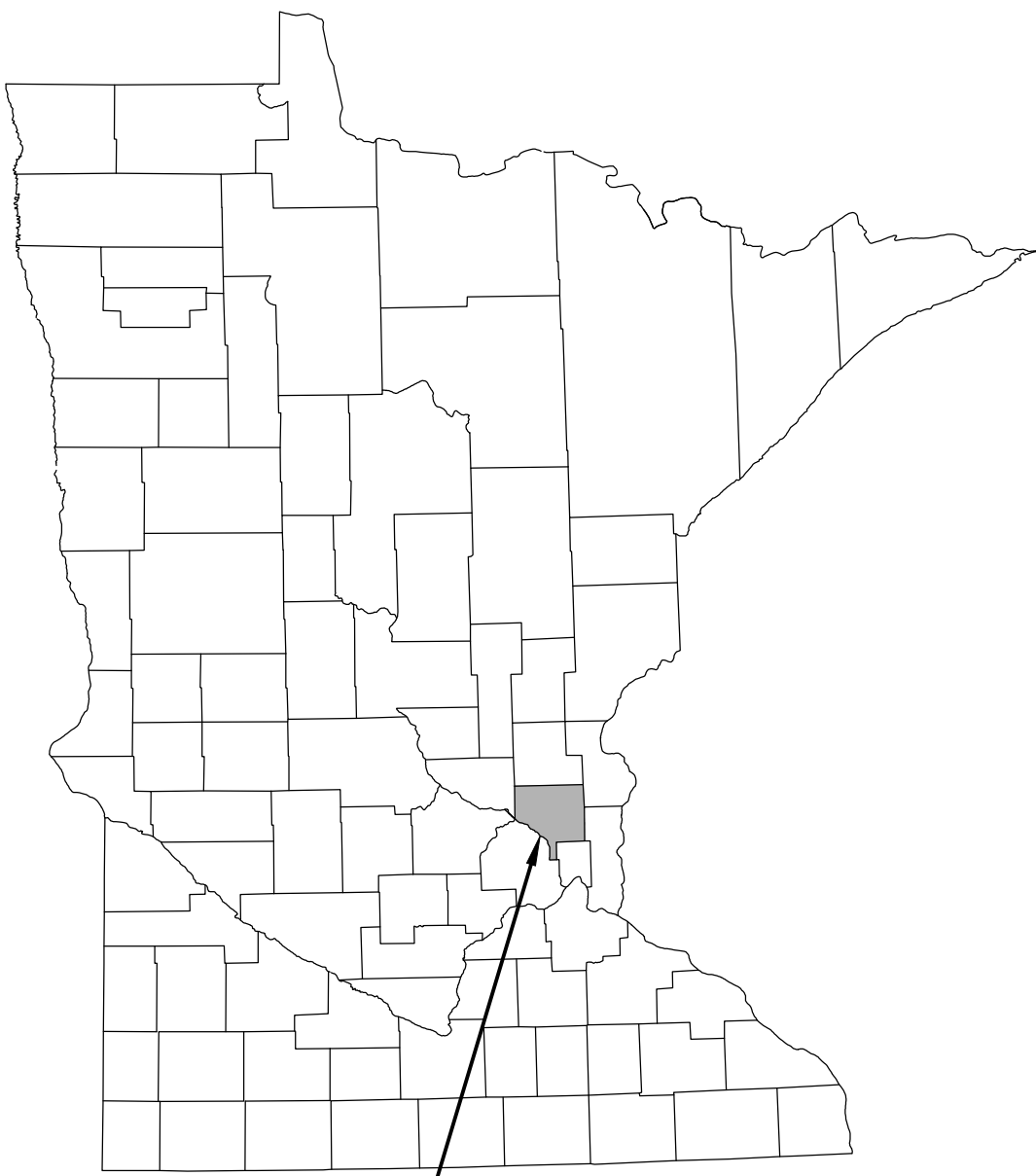
ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES  
SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE  
LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL  
DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC  
CONTROL ZONE LAYOUTS.

SHEET INDEX

THIS PLAN CONTAINS 8 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	CONSTRUCTION NOTES, PROJECT LEGEND AND DETAILS
C3	DETAILS
C4	SITE PLAN
C5	EXISTING TOPOGRAPHY AND REMOVALS PLAN
C6	GRADING, DRAINAGE AND EROSION CONTROL PLAN
C7	UTILITY PLAN
C8	PAVING AND RESTORATION PLAN



CITY OF  
SPRING LAKE PARK,  
ANOKA COUNTY,  
MINNESOTA

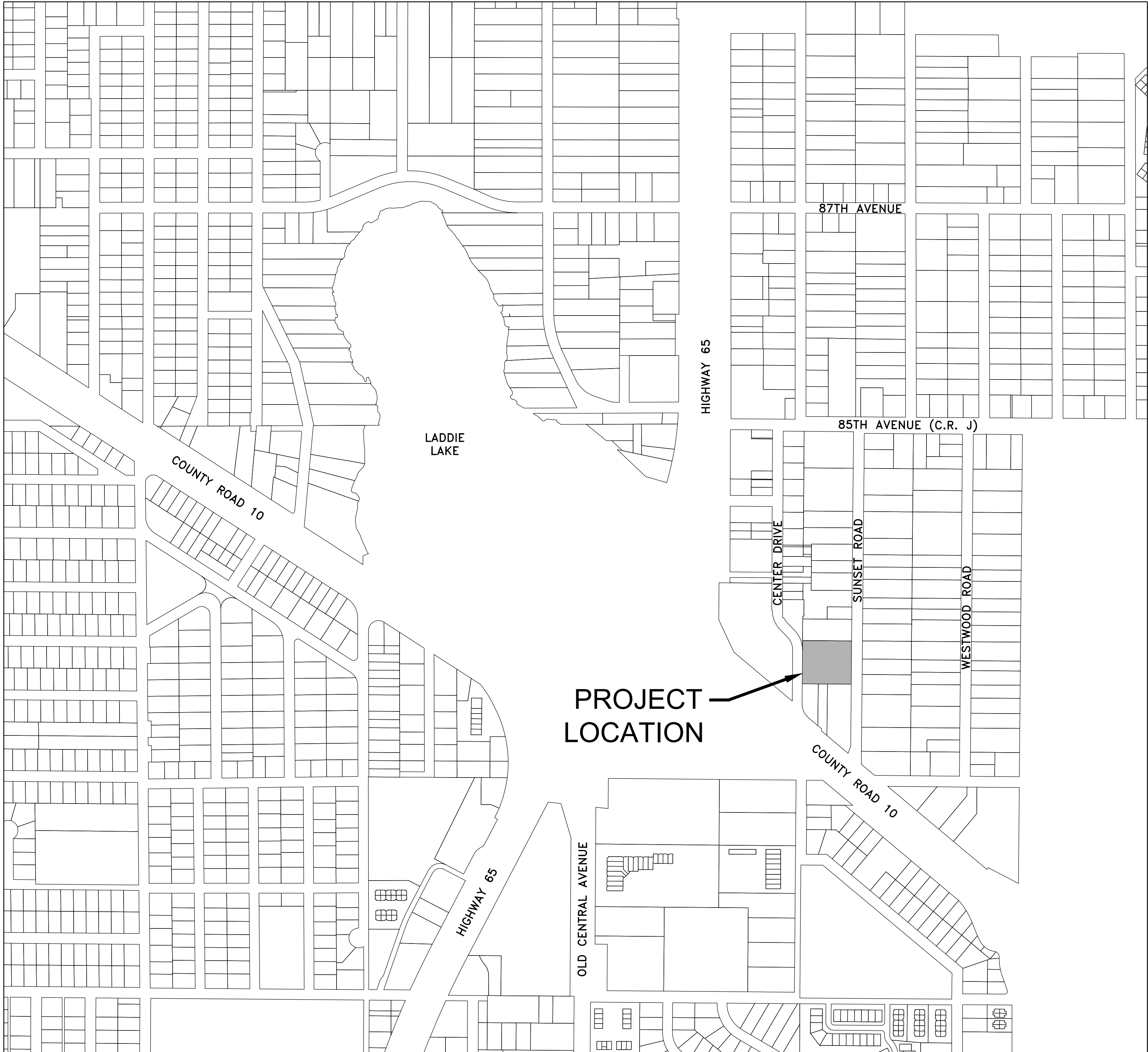
CONTRACTOR

WELSH CONSTRUCTION  
4350 BAKER ROAD, SUITE 400  
MINNETONKA, MN 55343  
SCOTT THOMPSON  
scott.thompson@welshconstruct.com  
952-897-7892

ENGINEER/SURVEYOR

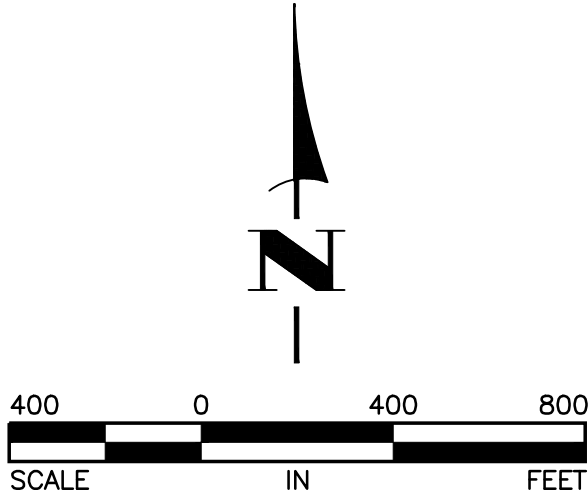
HAKANSON ANDERSON  
3601 THURSTON AVENUE  
ANOKA, MN 55303  
TIMOTHY A. EGGERICHS, P.E.  
time@haa-inc.com  
CHARLES R. CHRISTOPHERSON, P.L.S.  
charlie@haa-inc.com  
763-427-5860

PROJECT  
LOCATION



THE SUBSURFACE UTILITY INFORMATION IN  
THIS PLAN IS UTILITY QUALITY LEVEL D.  
THIS QUALITY LEVEL WAS DETERMINED  
ACCORDING TO THE GUIDELINES OF  
CI/ASCE 38-02, ENTITLED "STANDARD  
GUIDELINES FOR THE COLLECTION AND  
DEPICTION OF EXISTING SUBSURFACE  
UTILITY DATA."

BENCHMARK:  
TOP NUT HYDRANT ON THE EAST SIDE OF  
SUNSET ROAD AT 8383 SUNSET ROAD.  
ELEV=913.43 (NAVD 88)



I hereby certify that this plan, specification, or report was prepared  
by me or under my direct supervision and that I am a duly Licensed  
Professional Engineer under the laws of the State of Minnesota.

*Tim Eggerichs*  
TIMOTHY A. EGGERICHS, P.E.  
HAKANSON ANDERSON  
DESIGN ENGINEER

43362 DATE 7/30/18  
LIC. NO.

DATE	REVISION

SHEET C1 OF C8 SHEETS



Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520



GENERAL CONSTRUCTION AND SOILS NOTES:

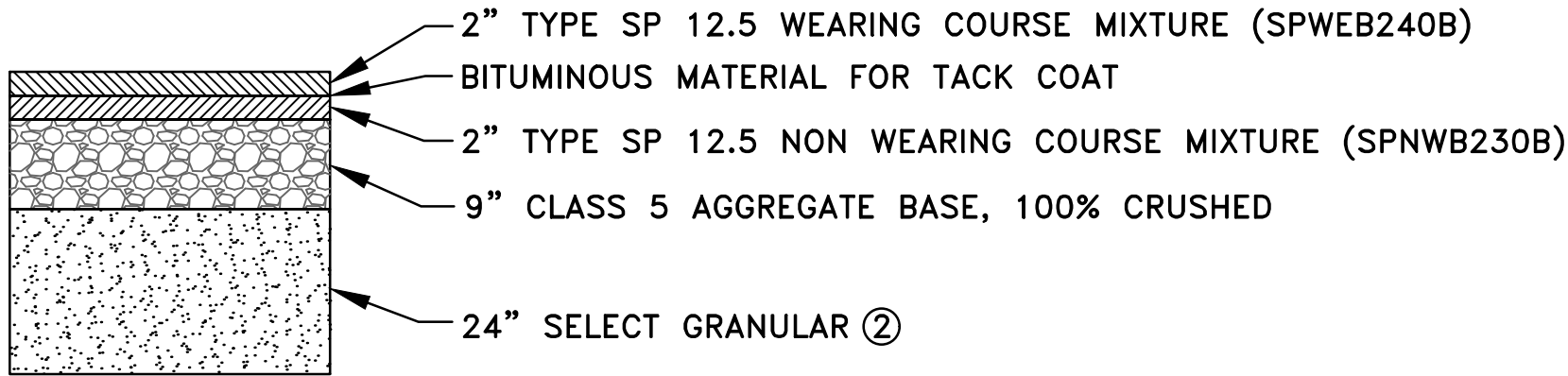
1. STRIP ALL INPLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT AND BUILDING CONSTRUCTION, THE EXPOSED SAND SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
2. UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
3. SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
4. CONTRACTOR SHALL REVIEW THE GEOTECHNICAL EXPLORATION PROGRAM PREPARED BY ELEMENT MATERIALS TECHNOLOGY AND DATED JULY 6, 2018 FOR ADDITIONAL SITE PREPARATION REQUIREMENTS.
5. PROVIDE A SAW CUT WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT AND AT TERMINI OF CONSTRUCTION TO ENSURE A UNIFORM JOINT.
6. BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH MN/DOT SPEC. 2104.
7. USE TACK COAT BETWEEN ALL BITUMINOUS MIXTURES. THE BITUMINOUS TACK COAT MATERIAL SHALL BE APPLIED AT A UNIFORM RATE OF 0.04 GAL/SY TO 0.06 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS.
8. PERFORMANCE GRADED (PG) ASPHALT BINDER PG 58S-28, SPEC. 3151, SHALL BE USED FOR ALL BITUMINOUS MIXES ON THIS PROJECT.
9. THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF SPECIFICATIONS 2360 AND 3139.

GENERAL EROSION CONTROL NOTES:

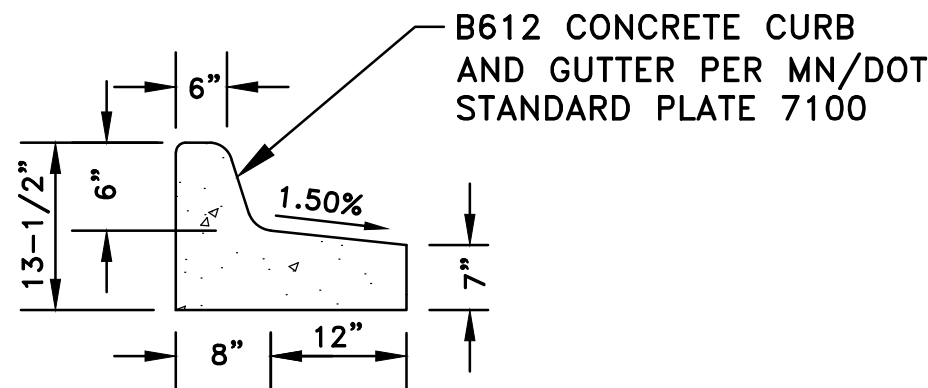
1. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL ACQUIRE THE MPCA NPDES STORMWATER PERMIT
2. EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
4. THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
5. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN THE INSPECTION LOG.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION.

REFERENCE NOTES:

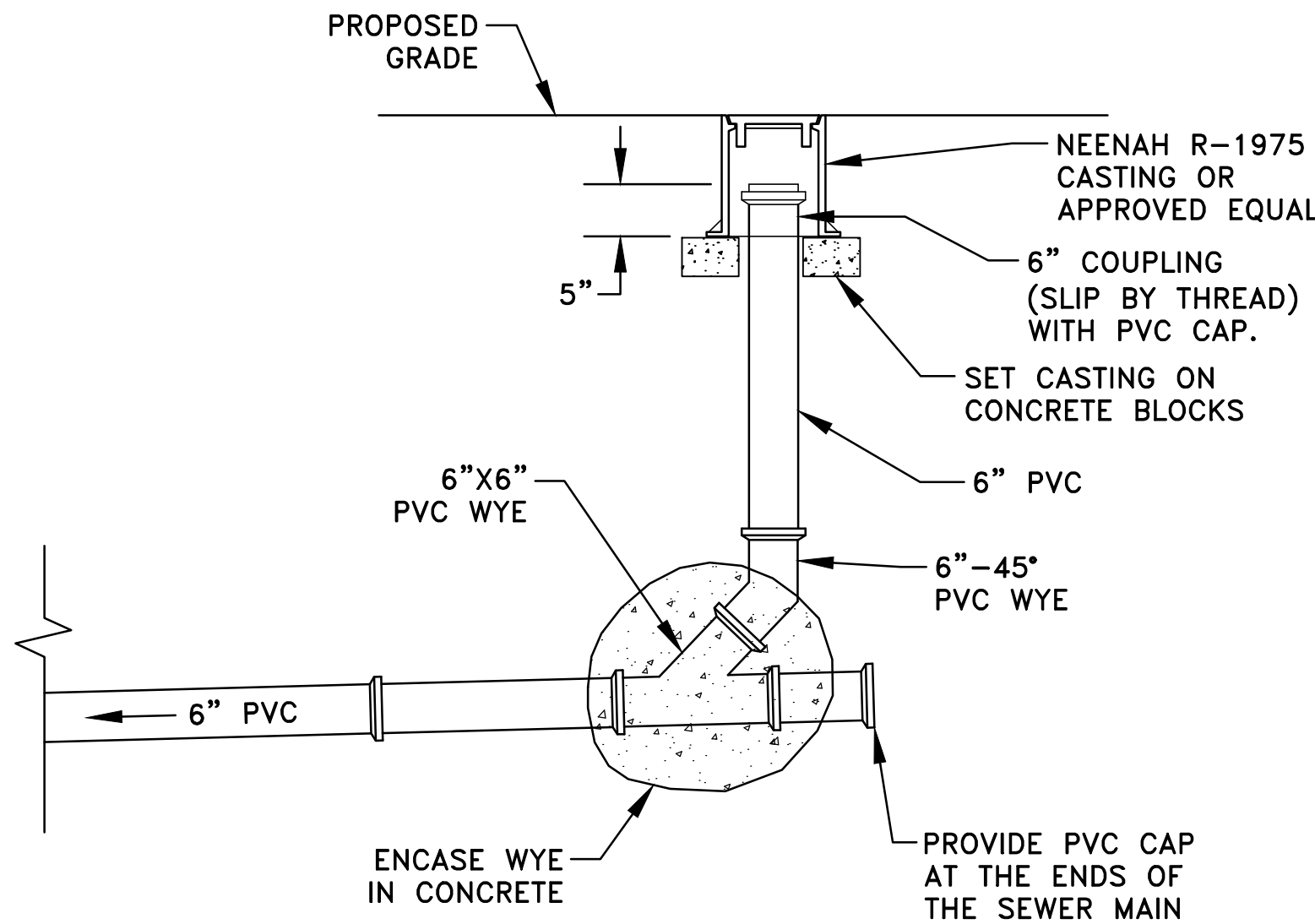
- ① THE CONTRACTOR SHALL USE STANDARD AVAILABLE RING THICKNESSES THAT MINIMIZE THE NUMBER OF RINGS REQUIRED. A MAXIMUM OF 3 RINGS SHALL BE USED FOR ADJUSTMENT. THE MINIMUM ADJUSTMENT HEIGHT SHALL BE 2 INCHES AND THE MAXIMUM ADJUSTMENT HEIGHT SHALL BE 8 INCHES.
- ② SELECT GRANULAR MATERIAL SHALL BE ON SITE SUITABLE GRADING MATERIAL WITH A UNIFIED SOIL CLASSIFICATION OF SP OR SP-SM.



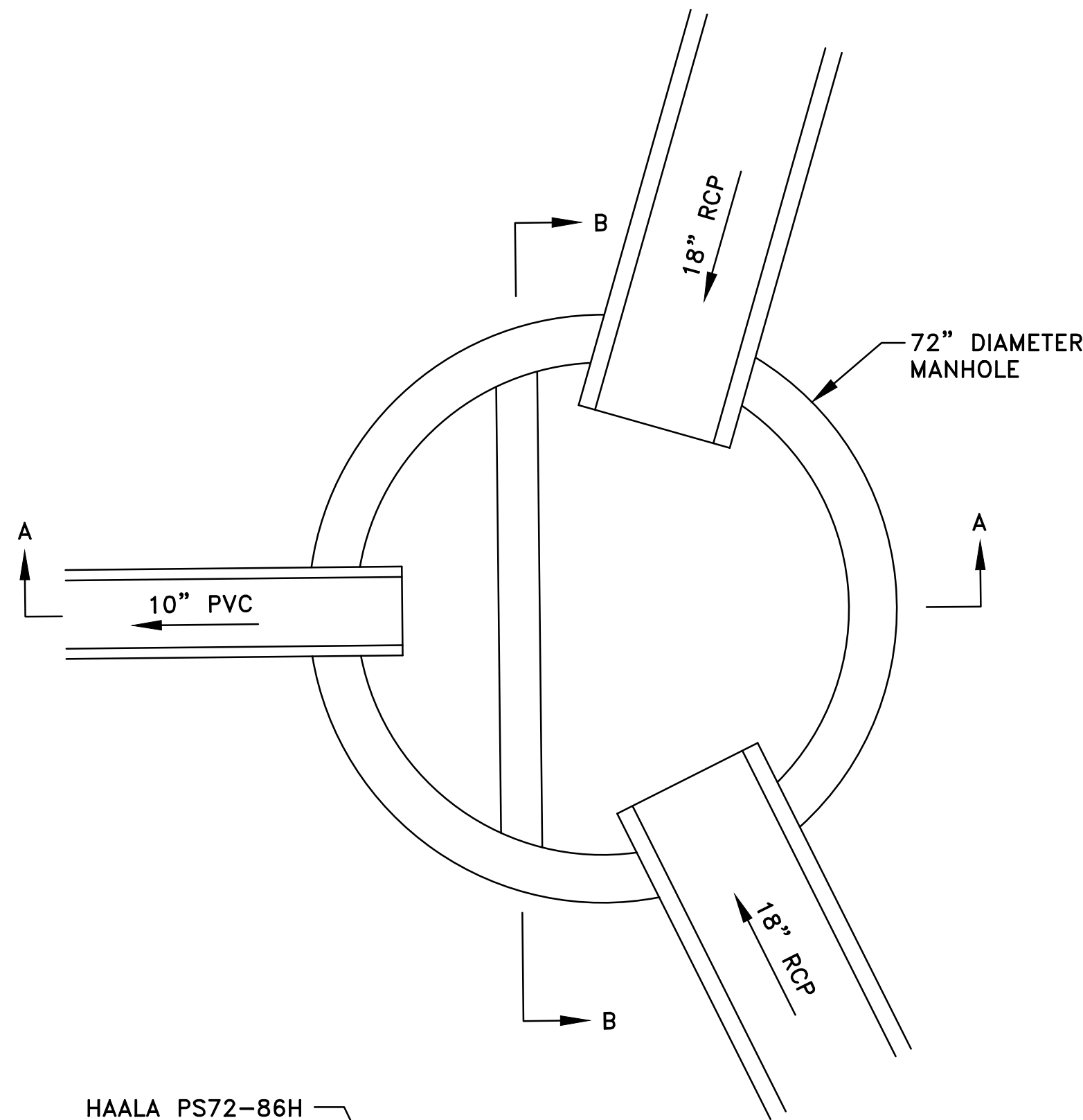
1 BITUMINOUS PAVEMENT SECTION  
C2 NO SCALE



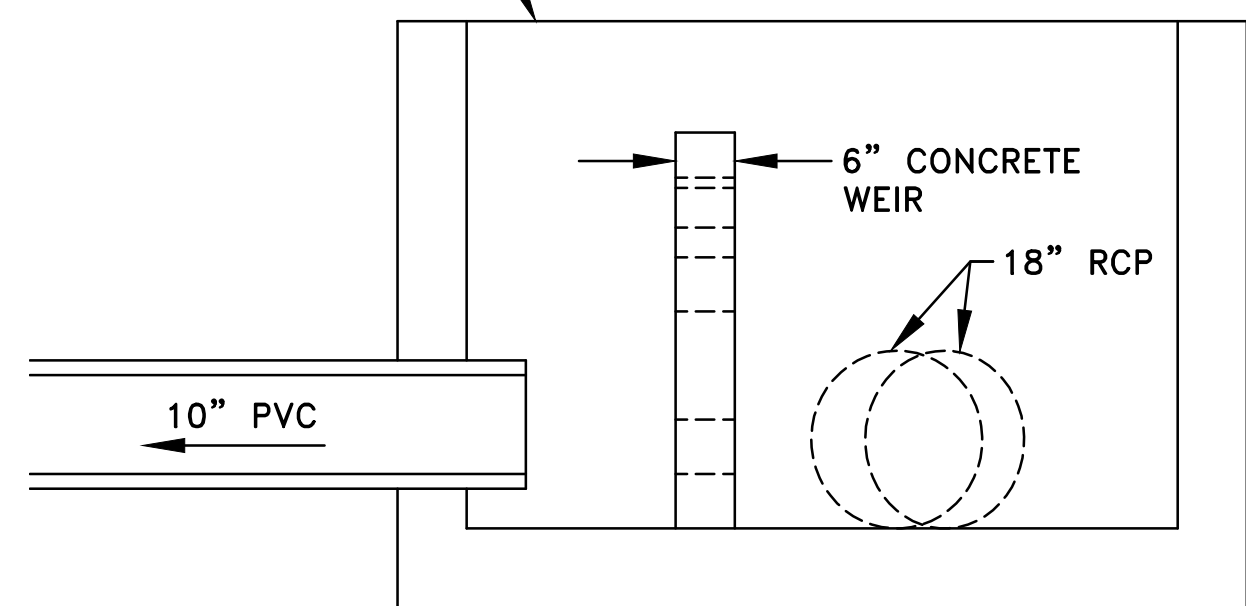
2 TIPOUT CURB DETAIL  
C2 NO SCALE



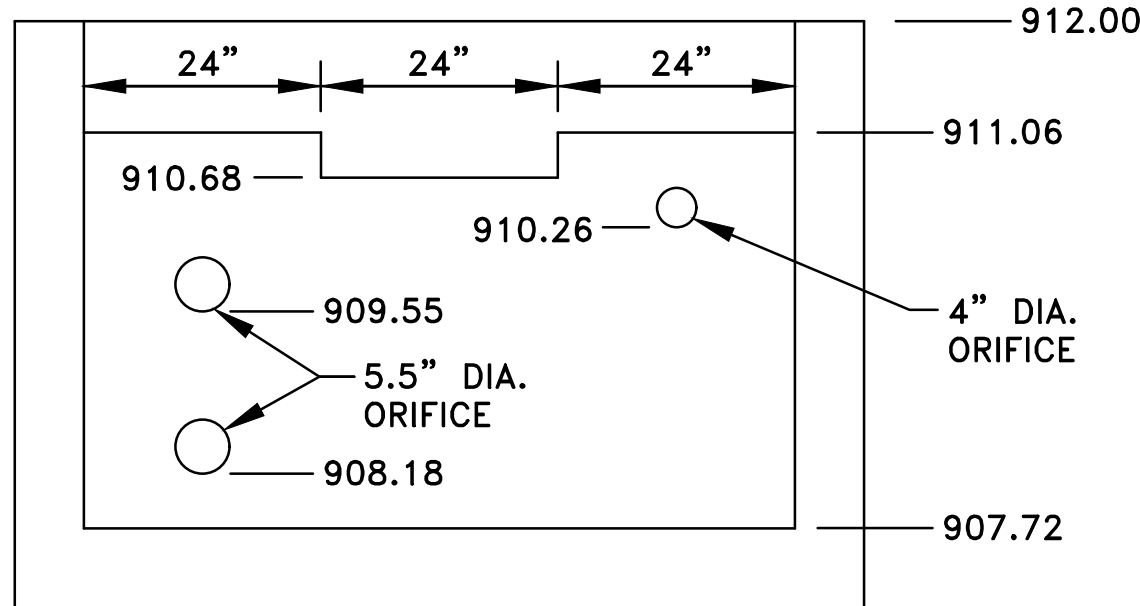
3 SANITARY SEWER CLEANOUT  
C2 NO SCALE



HAALA PS72-86H  
GRATE OR APPROVED  
EQUAL

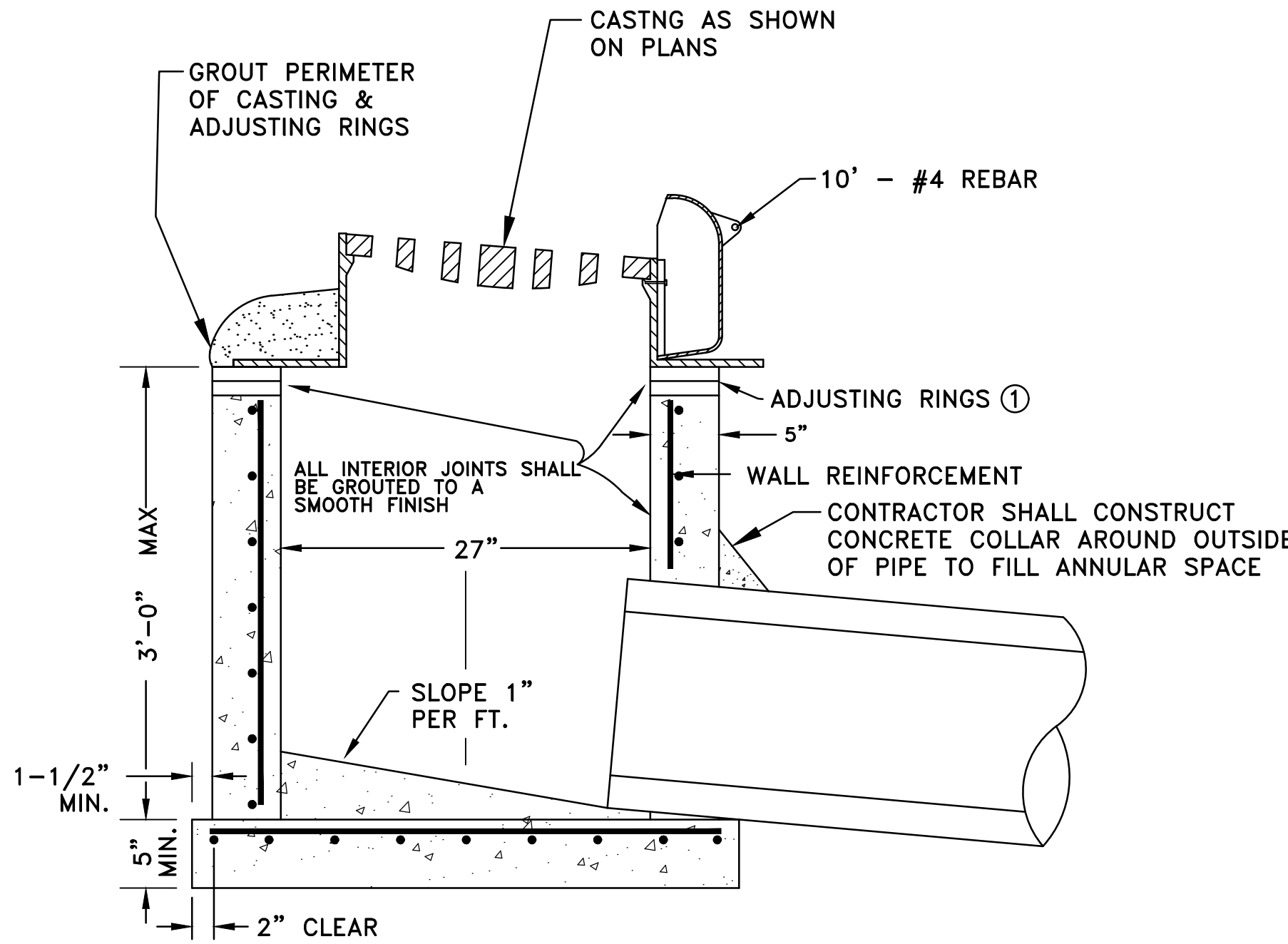


SECTION A-A



SECTION B-B

5 STM/MH #9 DETAIL  
C2 NO SCALE



4 STANDARD CATCH BASIN  
C2 (REF. MN/DOT STANDARD PLATE 4006 DESIGN H) NO SCALE

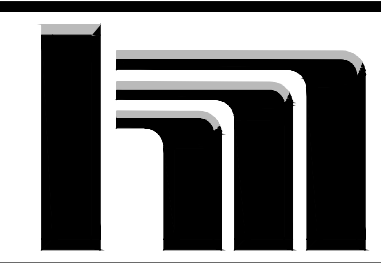
LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	OVERHEAD UTILITY LINE
	GAS LINE
	POWER POLE
	GUY WIRE
	LIGHT POLE
	UTILITY PEDESTALS
	EXISTING CONCRETE CURB
	CHAINLINK FENCE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING CATCH BASIN
	EXISTING STORM SEWER APRON
	EXISTING BITUMINOUS PAVEMENT
	EXISTING TREES
	EXISTING SIGN
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	PROPOSED STORM SEWER
	PROPOSED CATCH BASINS
	PROPOSED STORM MANHOLE
	PROPOSED STORM SEWER APRON
	PROPOSED CONCRETE CURB
	SBX SOIL BORING LOCATION
	DETAIL NUMBER
	SHEET NUMBER

DATE	REVISION
8/28/18	PLAN REVISIONS PER CCWD REVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Edgerichs, P.E.  
Date 7/30/18 Lic. No. 43362

DESIGNED BY:	TAE
DRAWN BY:	TAE
CHECKED BY:	CJJ



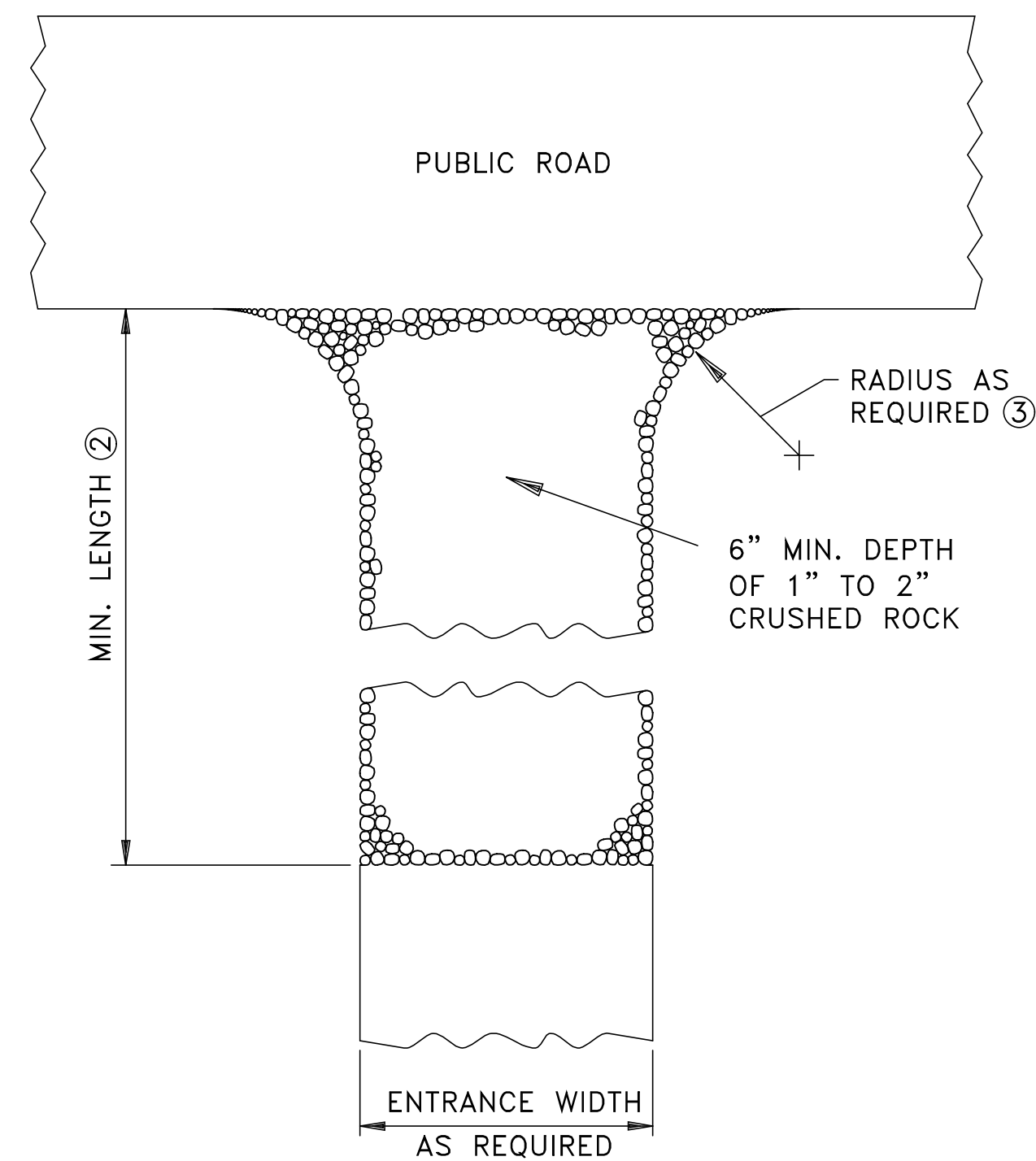
**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PRO COURIER

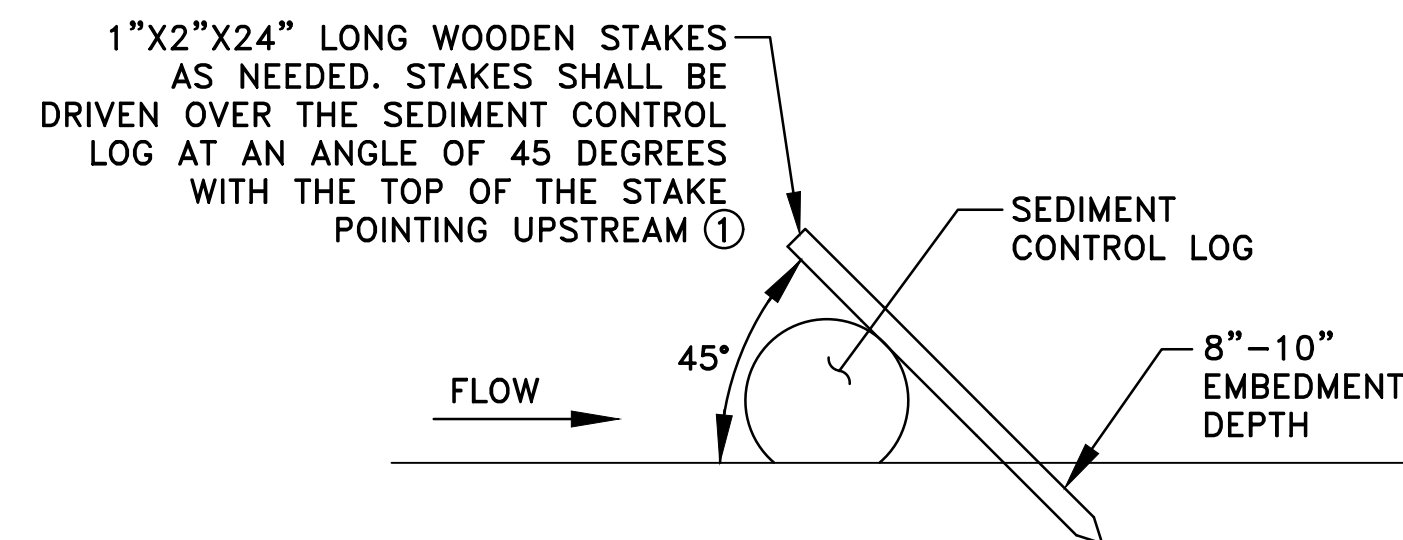
CONSTRUCTION NOTES,  
PROJECT LEGEND AND DETAILS

CITY OF SPRING LAKE PARK, MINNESOTA

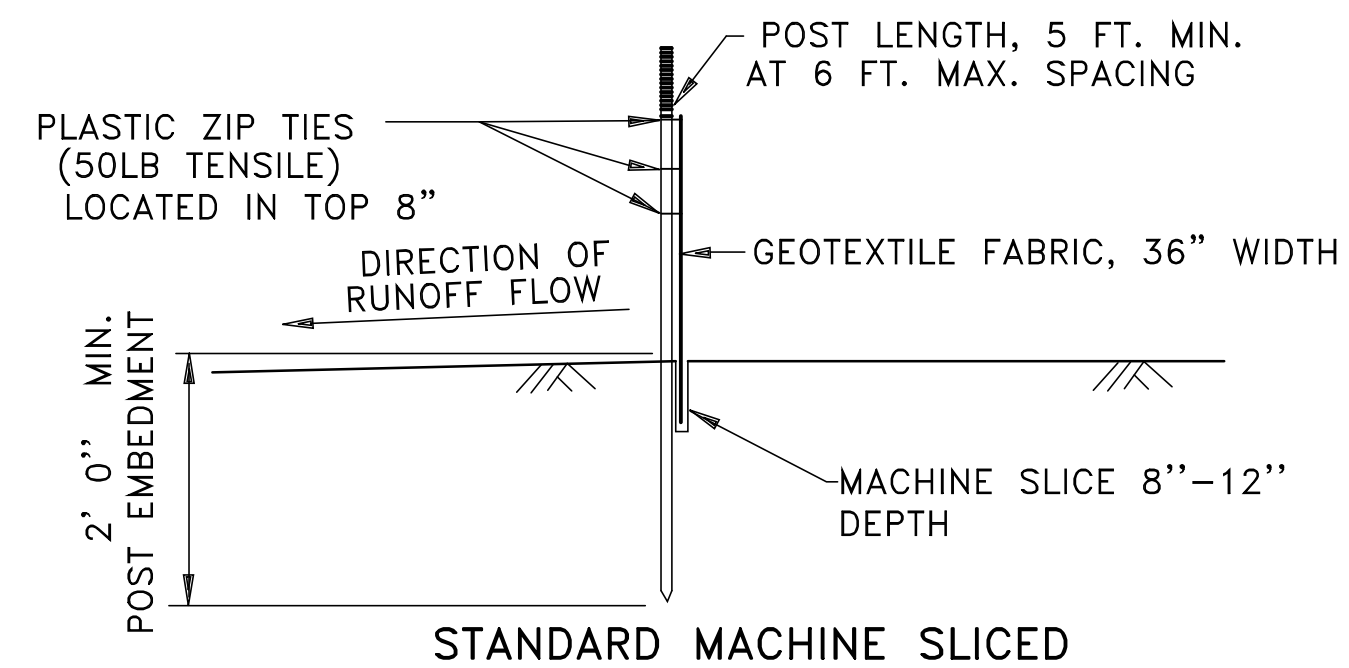
SHEET C2	OF C8
	SHEETS



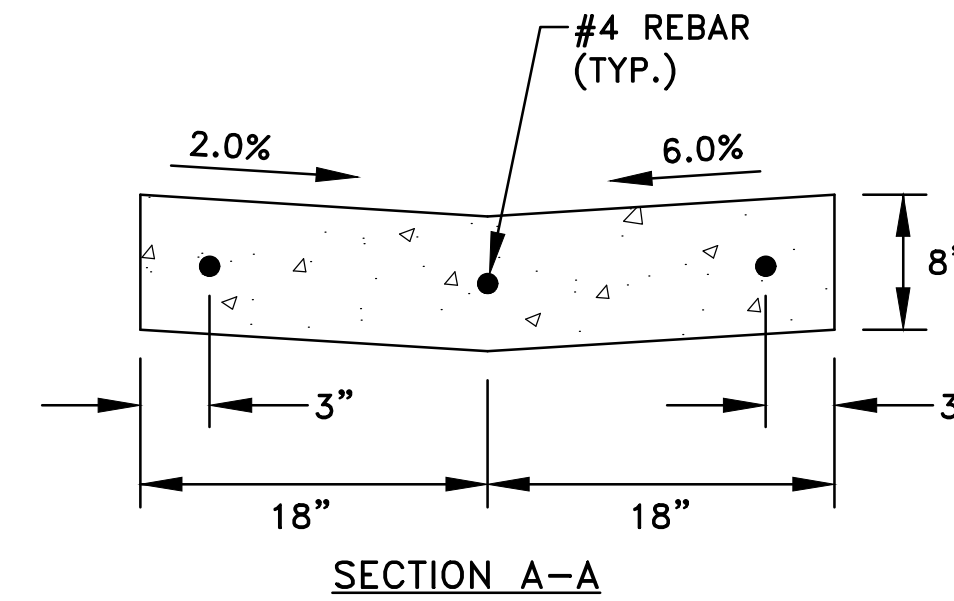
1 CRUSHED ROCK CONSTRUCTION EXIT ④  
C3



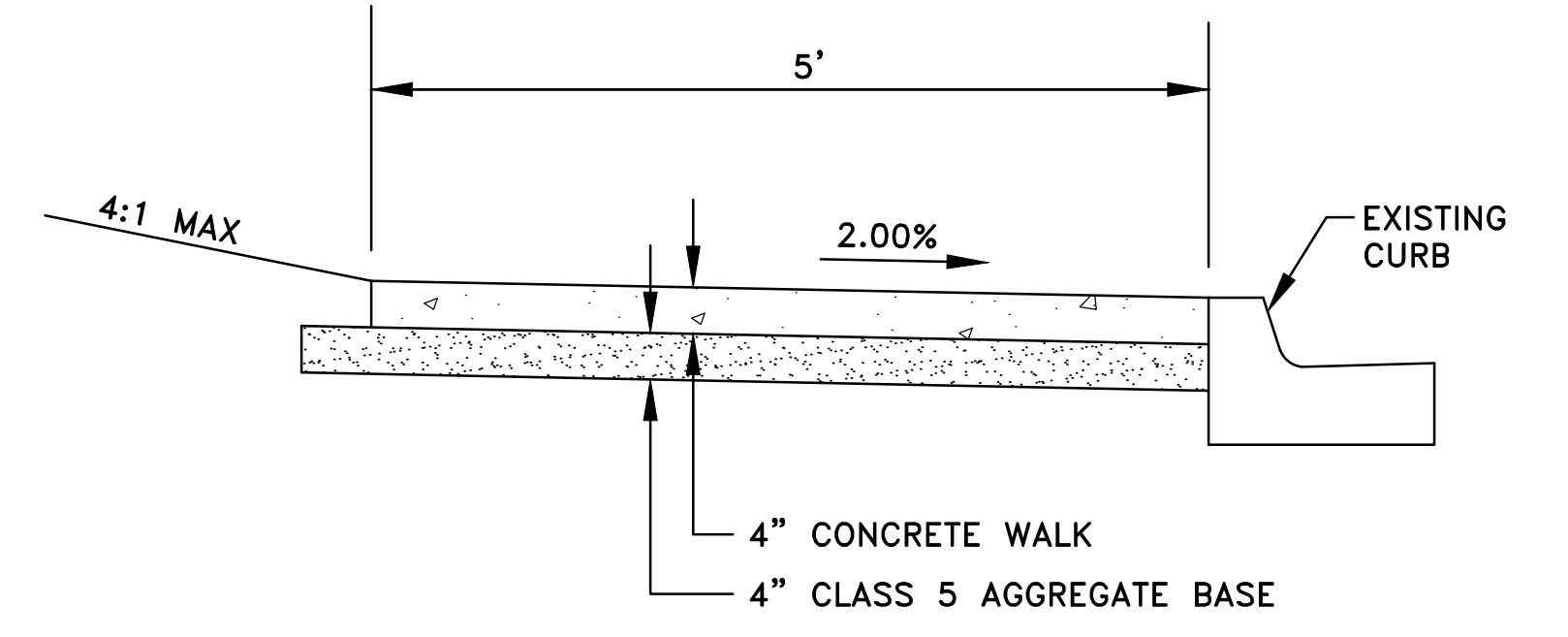
2 SEDIMENT CONTROL LOG TYPE COMPOST  
C3



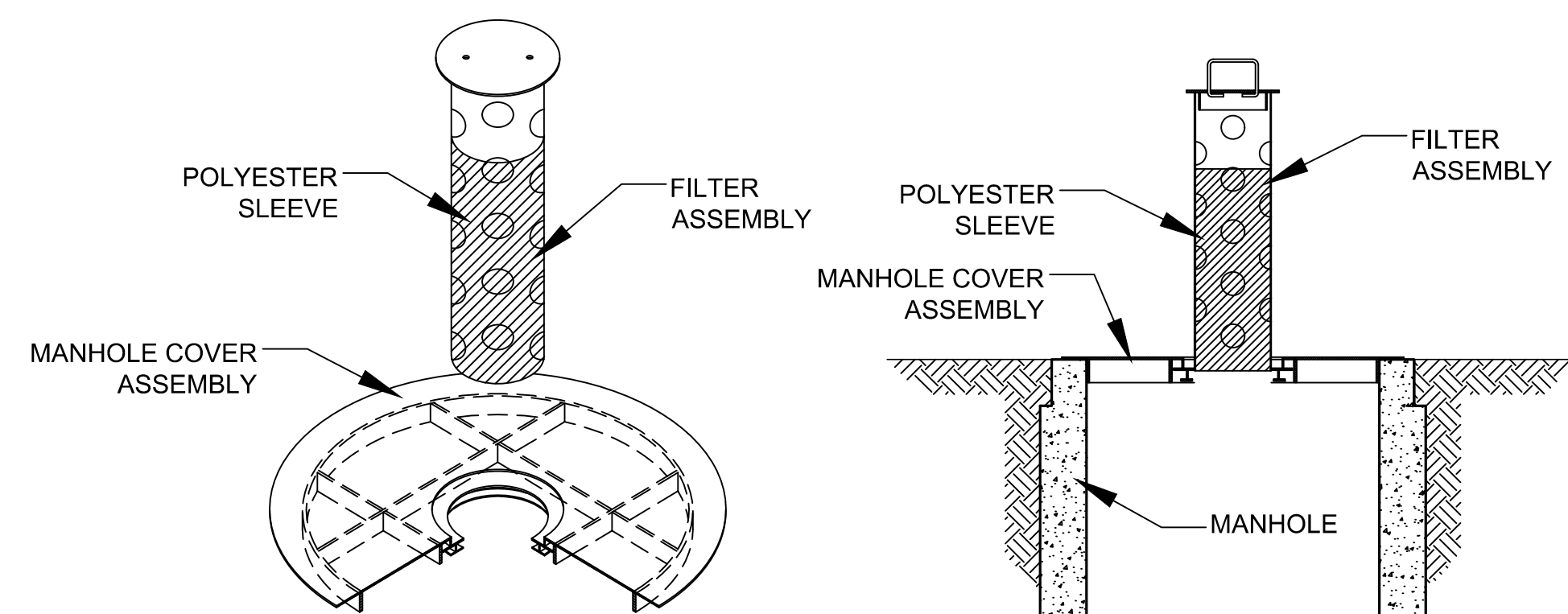
3 SILT FENCE DETAILS  
C3



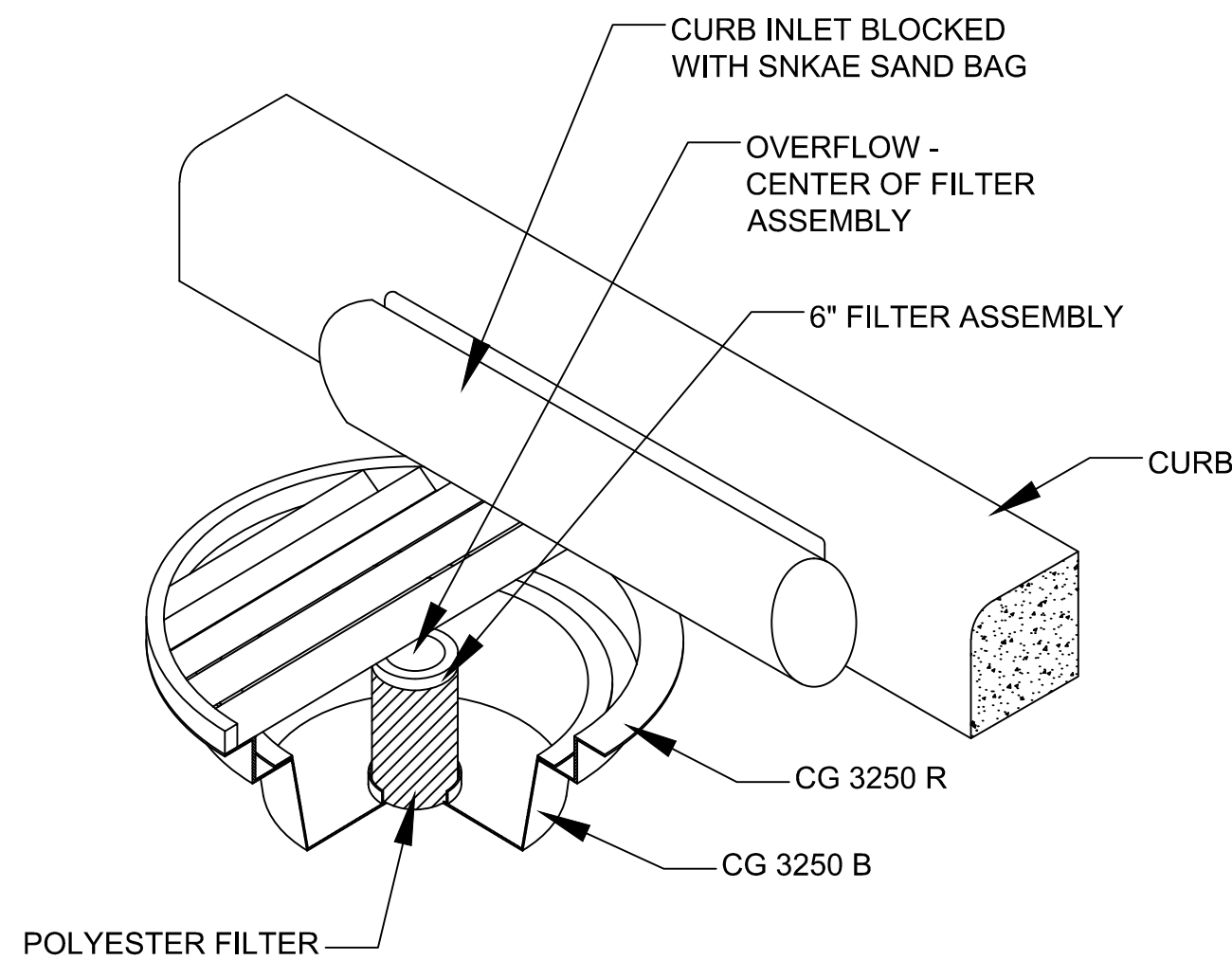
4 CONCRETE VALLEY GUTTER  
C3  
NO SCALE



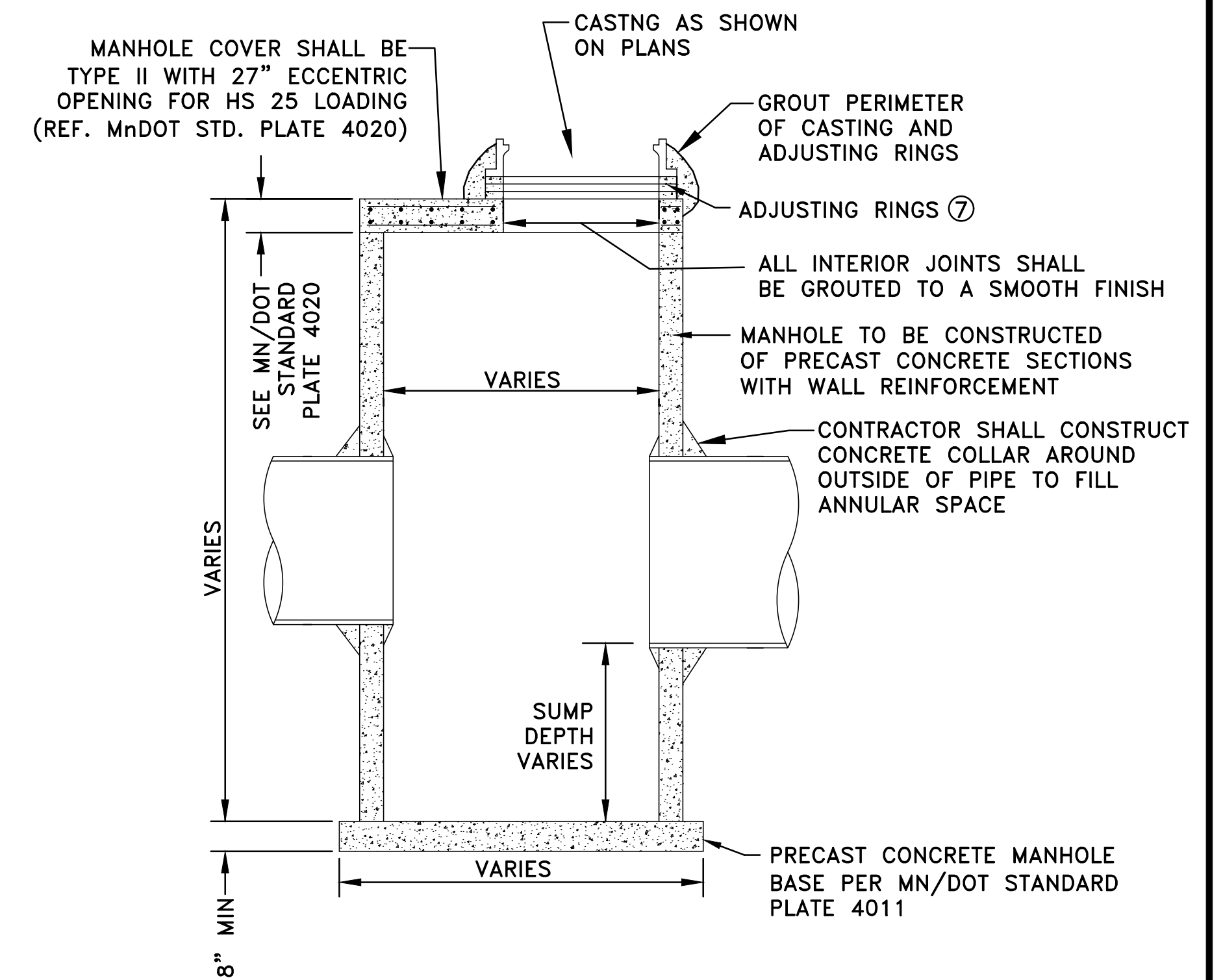
5 CONCRETE SIDEWALK SECTION  
C3  
NO SCALE



6 STORM DRAIN INLET PROTECTION TYPE 1 ⑤  
C3  
PRE-CURB



7 STORM DRAIN INLET PROTECTION TYPE 2 ⑥  
C3  
POST-CURB



8 STANDARD SLAB-TOP MANHOLE  
C3  
(STORM SEWER)  
NO SCALE

REFERENCE NOTES:

- PLACE STAKES AS NEEDED TO PREVENT MOVEMENT OF SEDIMENT CONTROL LOGS PLACED ON SLOPES OR AS NEEDED DUE TO OTHER FACTORS. STAKES SHALL BE INCIDENTAL.
- MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.
- PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
- MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.
- TYPE 1 INLET PROTECTION SHALL BE INSTALLED AS NECESSARY TO MINIMIZE PONDING OF WATER DURING CONSTRUCTION. WIMCO MODEL 'RD 27' IS SHOWN.
- TYPE 2 INLET PROTECTION SHALL BE INSTALLED ON ALL CASTINGS RECEIVING RUNOFF FROM THE PROJECT AREA. WIMCO MODELS 'CG 3250 R' AND 'CG 3250 S' ARE SHOWN.
- THE CONTRACTOR SHALL USE STANDARD AVAILABLE RING THICKNESSES THAT MINIMIZE THE NUMBER OF RINGS REQUIRED. A MAXIMUM OF 3 RINGS SHALL BE USED FOR ADJUSTMENT. THE MINIMUM ADJUSTMENT HEIGHT SHALL BE 2 INCHES AND THE MAXIMUM ADJUSTMENT HEIGHT SHALL BE 8 INCHES.

DATE	REVISION	
8/28/18	PLAN REVISIONS PER CCWD REVIEW	

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Timothy A. Edgerichs*  
TIMOTHY A. EDGERICHS, P.E.  
Date 7/30/18 Lic. No. 43362

DESIGNED BY:  
TAE  
DRAWN BY:  
TAE  
CHECKED BY:  
CJJ



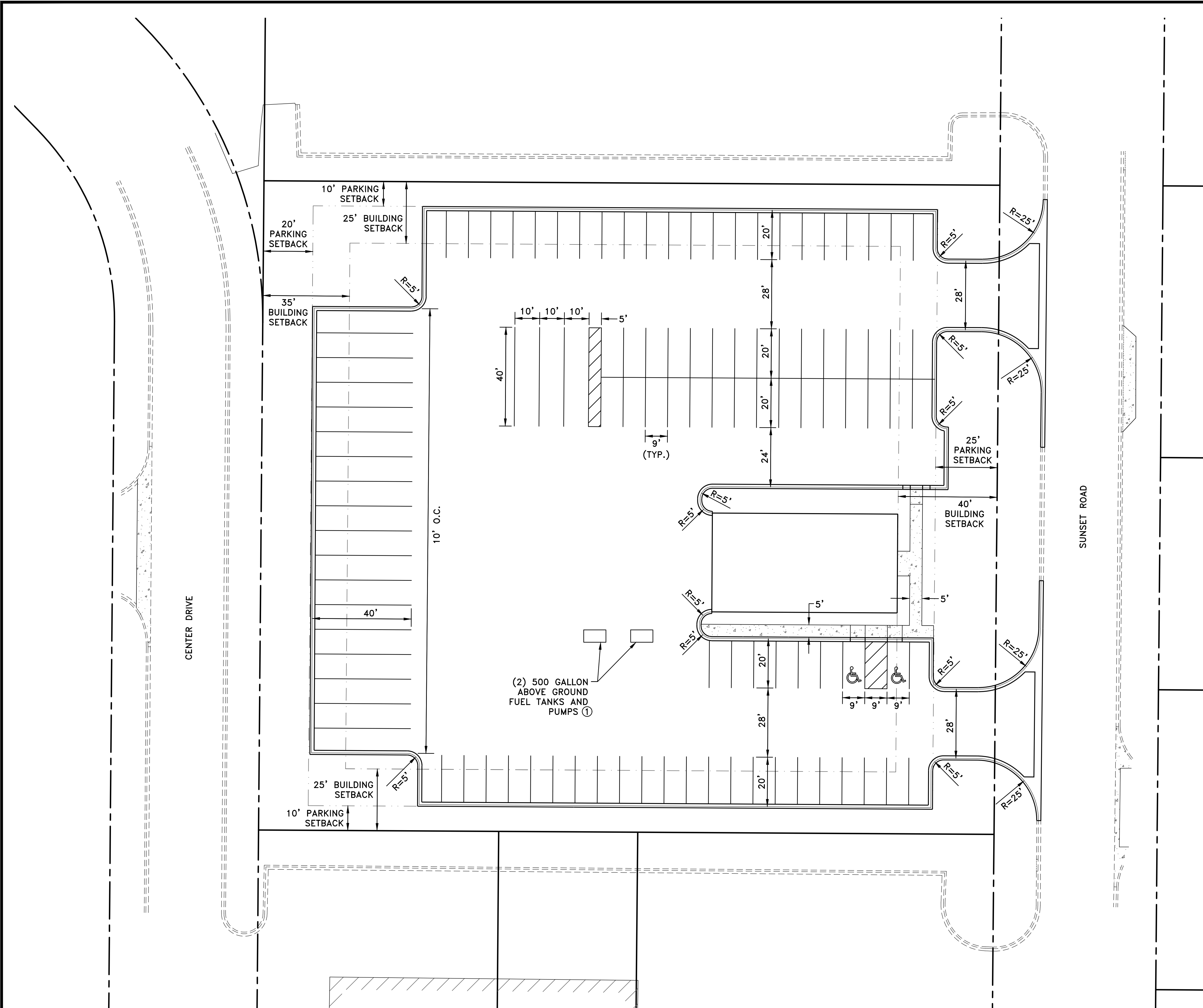
**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PRO COURIER

DETAILS  
CITY OF SPRING LAKE PARK, MINNESOTA

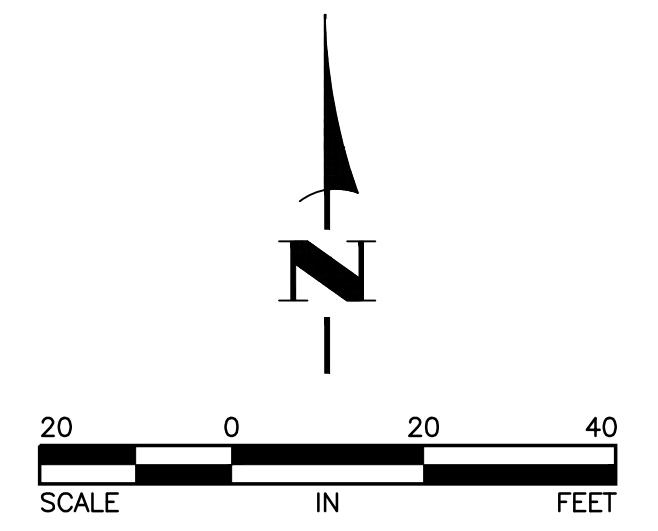
SHEET  
C3  
OF  
C8  
SHEETS

Aug 28, 2018 - 4:57pm  
K:\PRIVATE\3841.12\ENGINEERING\384112\_SITE.dwg



LOT SUMMARY	
TOTAL LOT AREA =	78,221 SF
BUILDING COVERAGE AREA =	3,000 SF (3.8%)
IMPERVIOUS SURFACE COVERAGE AREA =	58,509 SF (74.8%)

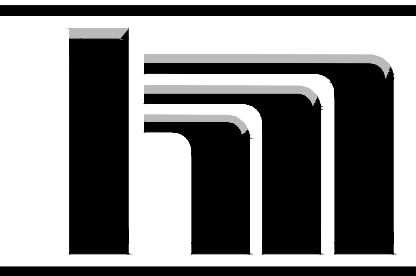
- GENERAL NOTES:  
1. STRIPING SHALL BE 4" WHITE PAINT.  
REFERENCE NOTES:  
① FINAL LOCATION OF FUEL TANKS SHALL BE DETERMINED BY THE OWNER.



DATE	REVISION
8/28/18	PLAN REVISIONS PER CCWD REVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*Timothy A. Eberichs*  
TIMOTHY A. EBERICHS, P.E.  
Date 7/30/18 Lic. No. 43362

DESIGNED BY:	TAE
DRAWN BY:	TAE
CHECKED BY:	CJJ



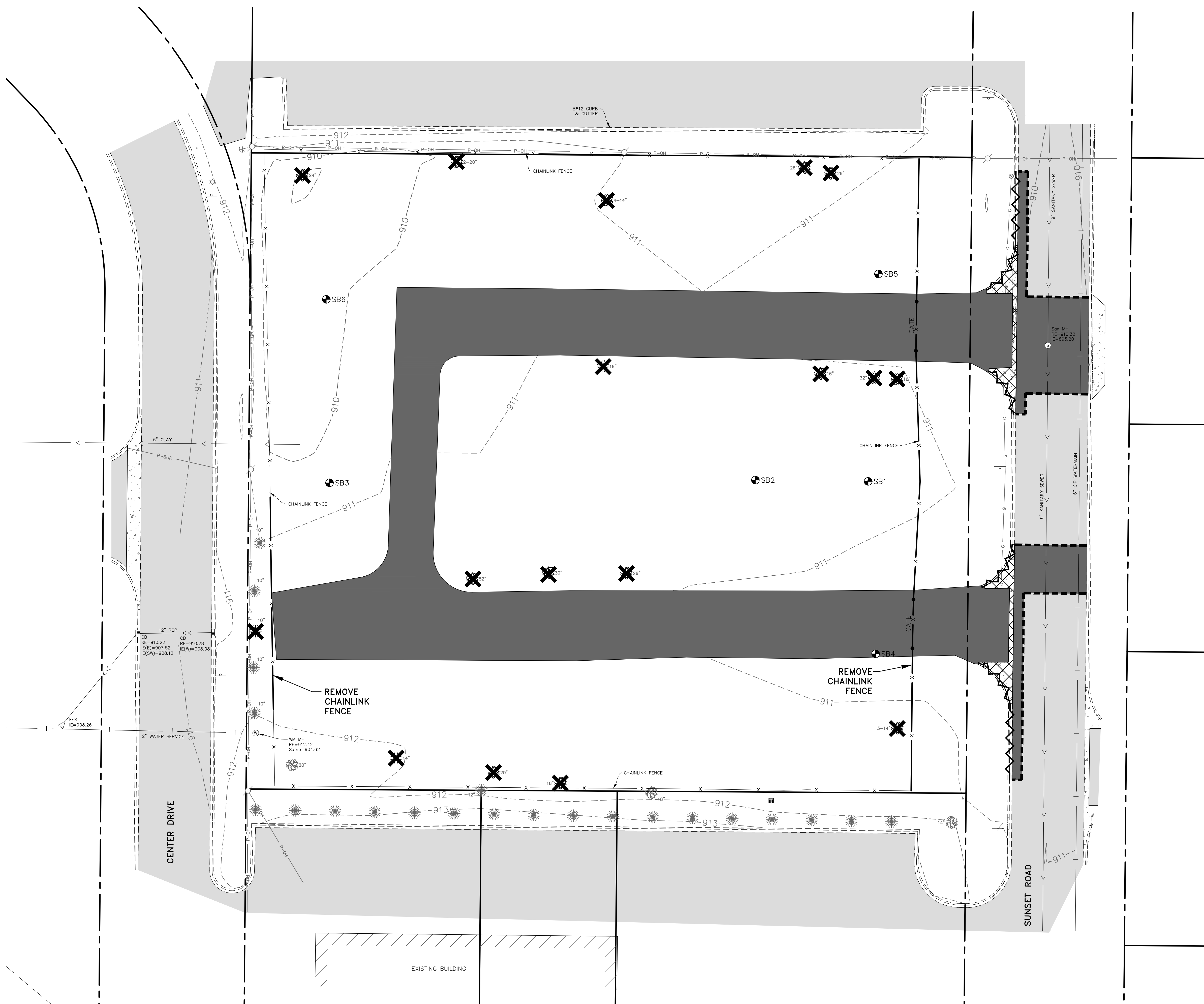
**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PRO COURIER

SITE PLAN  
CITY OF SPRING LAKE PARK, MINNESOTA

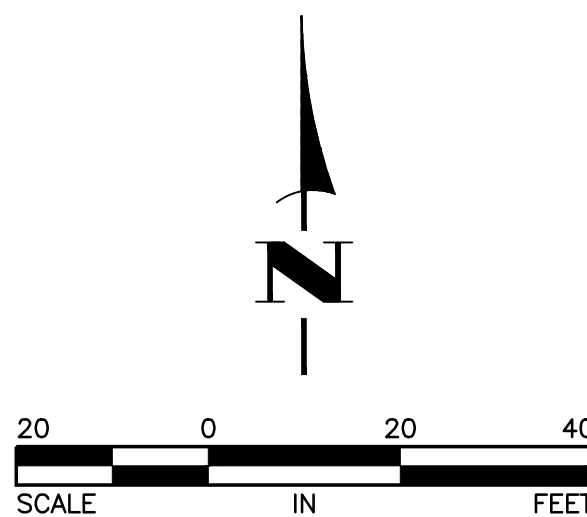
SHEET C4 OF C8 SHEETS

Jul 30, 2018 - 7:19am  
K:\PRIVATE\3841.12\ENGINEERING\384112\_REMOVALS.dwg



- LEGEND**
- REMOVE CONCRETE CURB
  - SAWCUT BITUMINOUS PAVEMENT
  - CLEAR AND GRUB TREE
  - BITUMINOUS PAVEMENT REMOVAL AREA
  - CONCRETE PAVEMENT REMOVAL AREA

**GENERAL NOTES:**  
1. CONTRACTOR SHALL CLOSE SUNSET ROAD AS NECESSARY TO CONSTRUCT SEWER AND WATER SERVICES. PRIOR TO CLOSING SUNSET ROAD, CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL.

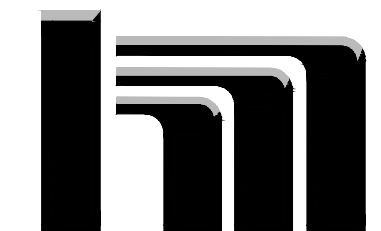


DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Timothy A. Eggench*  
TIMOTHY A. EGGENCHS, P.E.  
Date 7/30/18 Lic. No. 43362

DESIGNED BY:  
TAE  
DRAWN BY:  
TAE  
CHECKED BY:  
CJJ



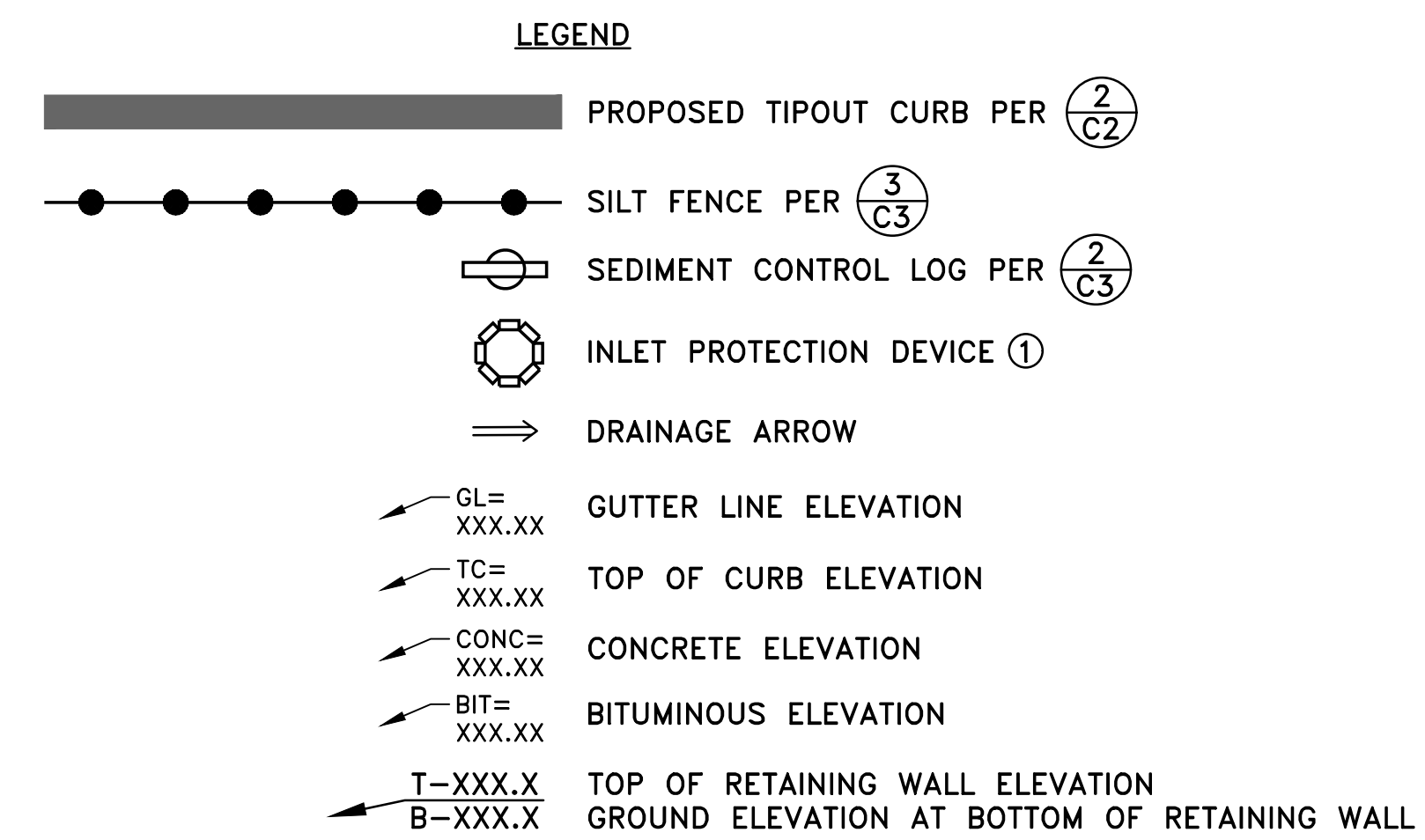
**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PRO COURIER

EXISTING TOPOGRAPHY  
AND REMOVALS PLAN  
CITY OF SPRING LAKE PARK, MINNESOTA

SHEET  
C5  
OF  
C8  
SHEETS





CONC=912.65

911

CONC=913.15

913

GL=912.55

TC=913.05

GL=912.55

BIT=912.15

GL=912.55

TC=912.55

GL=912.55

GL=912.25

GL=912.15

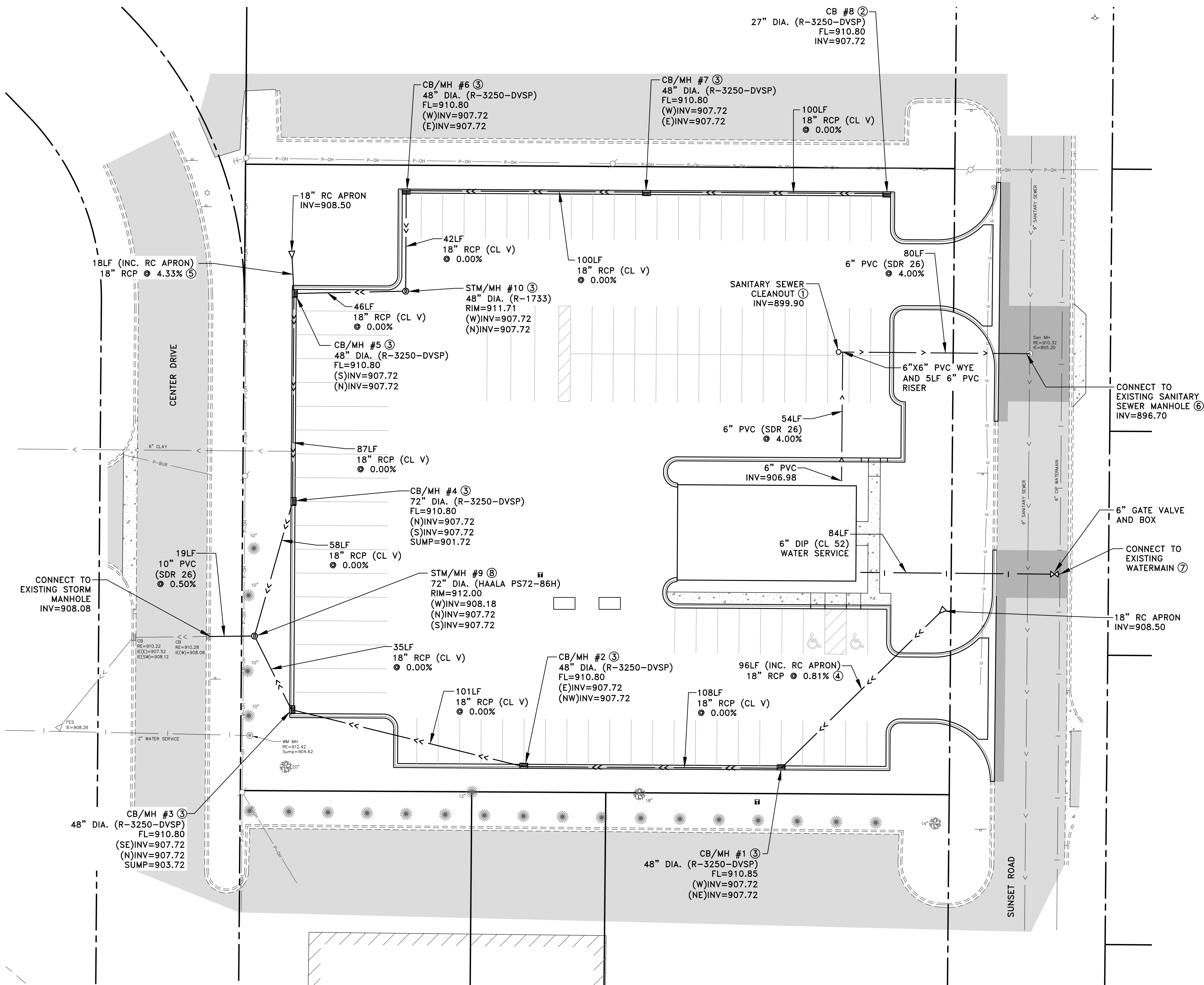
1 PEDESTRIAN CURB RAMP GRADES

C6

DESIGNED BY:		<b>Hakanson Anderson</b> Civil Engineers and Land Surveyors 3601 Thurston Ave., Anoka, Minnesota 55303 763-427-5860 FAX 763-427-0520 <a href="http://www.hakanson-anderson.com">www.hakanson-anderson.com</a>
TAE		
DRAWN BY:		
TAE		
CHECKED BY:		
CJJ		

SHEET  
C6  
OF  
C8  
SHEETS

Aug 28, 2018 - 4:59pm  
K:\PRIVATE\3841.12\ENGINEERING\384112\_UTILITY.dwg



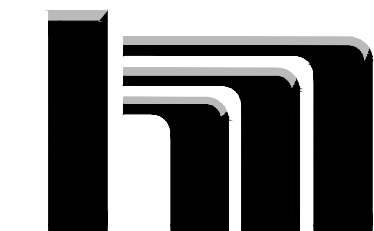
- GENERAL NOTES:
1. VERIFY SEWER AND WATER SERVICE LOCATIONS AT THE PROPOSED BUILDING PRIOR TO CONSTRUCTION.
  2. MAINTAIN A MINIMUM OF 7.5' OF COVER OVER THE WATER SERVICE.
  3. ALL R-3250-DVSP CASTINGS SHALL HAVE 4" FRAMES.
- REFERENCE NOTES:
- ① CONSTRUCT SANITARY SEWER CLEANOUT PER ③ C2.
  - ② CATCH BASIN SHALL BE CONSTRUCTED PER ④ C2.
  - ③ STORM SEWER STRUCTURE SHALL BE CONSTRUCTED PER ⑧ C3.
  - ④ TIE THREE PIPE JOINTS FROM THE APRON.
  - ⑤ TIE ALL PIPE JOINTS.
  - ⑥ CORE DRILL EXISTING MANHOLE AND INSTALL A WATERTIGHT BOOT.
  - ⑦ WATER SERVICE CONNECTION SHALL INCLUDE CUTTING IN A 6"X6" DIP TEE AND CONNECTING TO THE EXISTING WATERMAIN WITH 6" DIP SLEEVES.
  - ⑧ STORM SEWER STRUCTURE SHALL BE CONSTRUCTED PER ⑤ C2.

DATE	REVISION
8/13/18	REVISED SIZE OF PROPOSED WATER SERVICE
8/28/18	PLAN REVISIONS PER CCWD REVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Timothy A. Eberichs, P.E.*  
Date 7/30/18 Lic. No. 43362

DESIGNED BY:  
TAE  
DRAWN BY:  
TAE  
CHECKED BY:  
CJJ



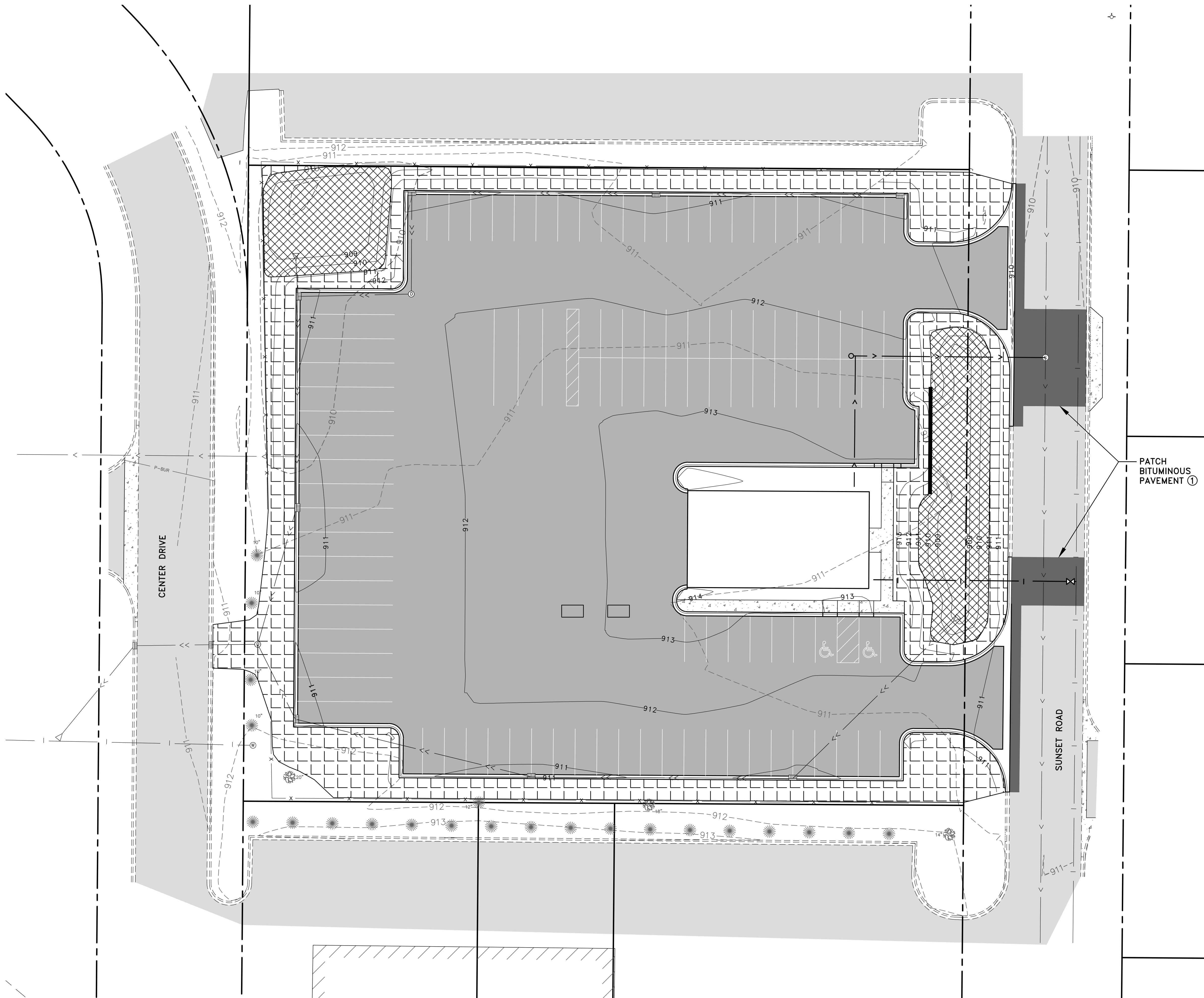
**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PRO COURIER

UTILITY PLAN  
CITY OF SPRING LAKE PARK, MINNESOTA

SHEET  
C7  
OF  
C8  
SHEETS

Aug 28, 2018 - 4:59pm  
K:\PRIVATE\3841.12\ENGINEERING\384112\_RESTORATION.dwg



LEGEND

- PROPOSED BITUMINOUS PAVEMENT PER ① C2
- SEED MIX 33-261 (35 POUNDS/ACRE)  
HYDRAULIC MULCH MATRIX (2500 POUNDS/ACRE)
- SOD

GENERAL NOTES:

1. PLACE A MINIMUM OF 4" OF TOPSOIL OVER ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED BUILDING AND PARKING LOT.

REFERENCE NOTES:

- ① BITUMINOUS PATCHING SECTION SHALL MATCH THE EXISTING SECTION ON SUNSET ROAD. CONSTRUCT PATCH SECTION WITH A MINIMUM CROWN OF 2%.

DATE	REVISION
8/28/18	PLAN REVISIONS PER CCWD REVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Timothy A. Eberichs*  
TIMOTHY A. EBERICHS, P.E.  
Date 7/30/18 Lic. No. 43362

DESIGNED BY:  
TAE  
DRAWN BY:  
TAE  
CHECKED BY:  
CJJ



**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

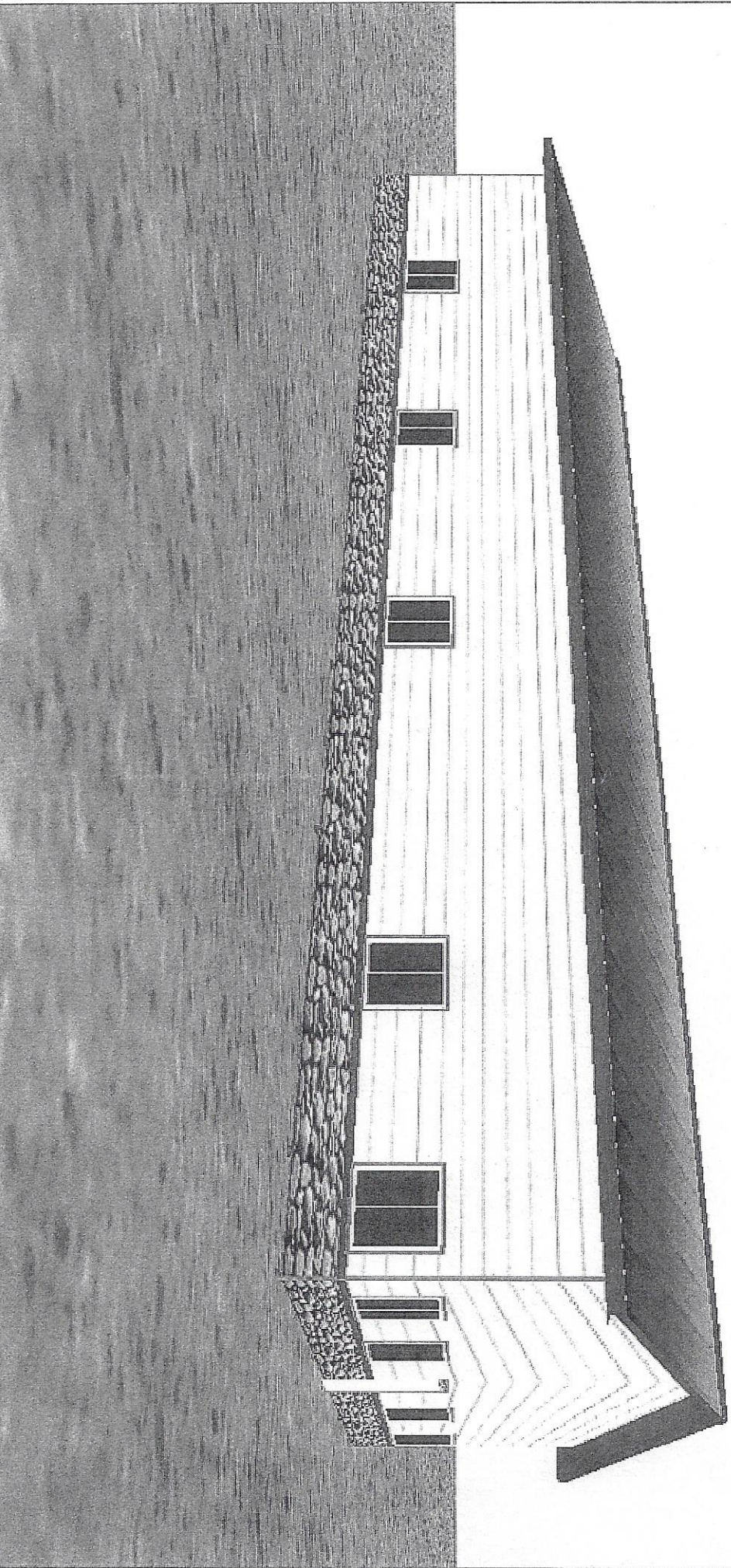
PRO COURIER

PAVING AND RESTORATION PLAN  
CITY OF SPRING LAKE PARK, MINNESOTA

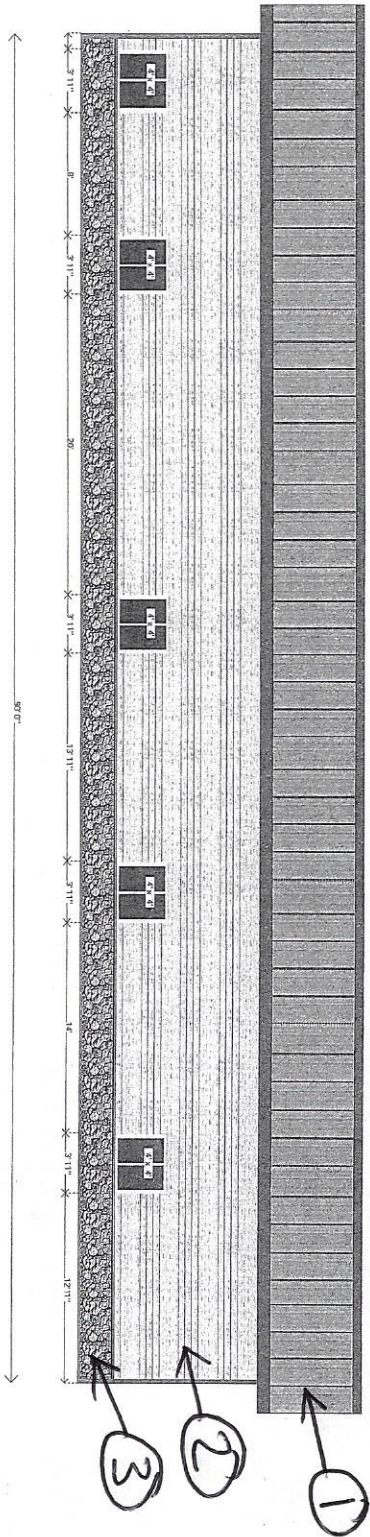
SHEET  
C8  
OF  
C8  
SHEETS



Pro Courier, Inc  
Spring Lake Park, MN  
Building Elevations -  
Design Development  
8-21-18







Key:

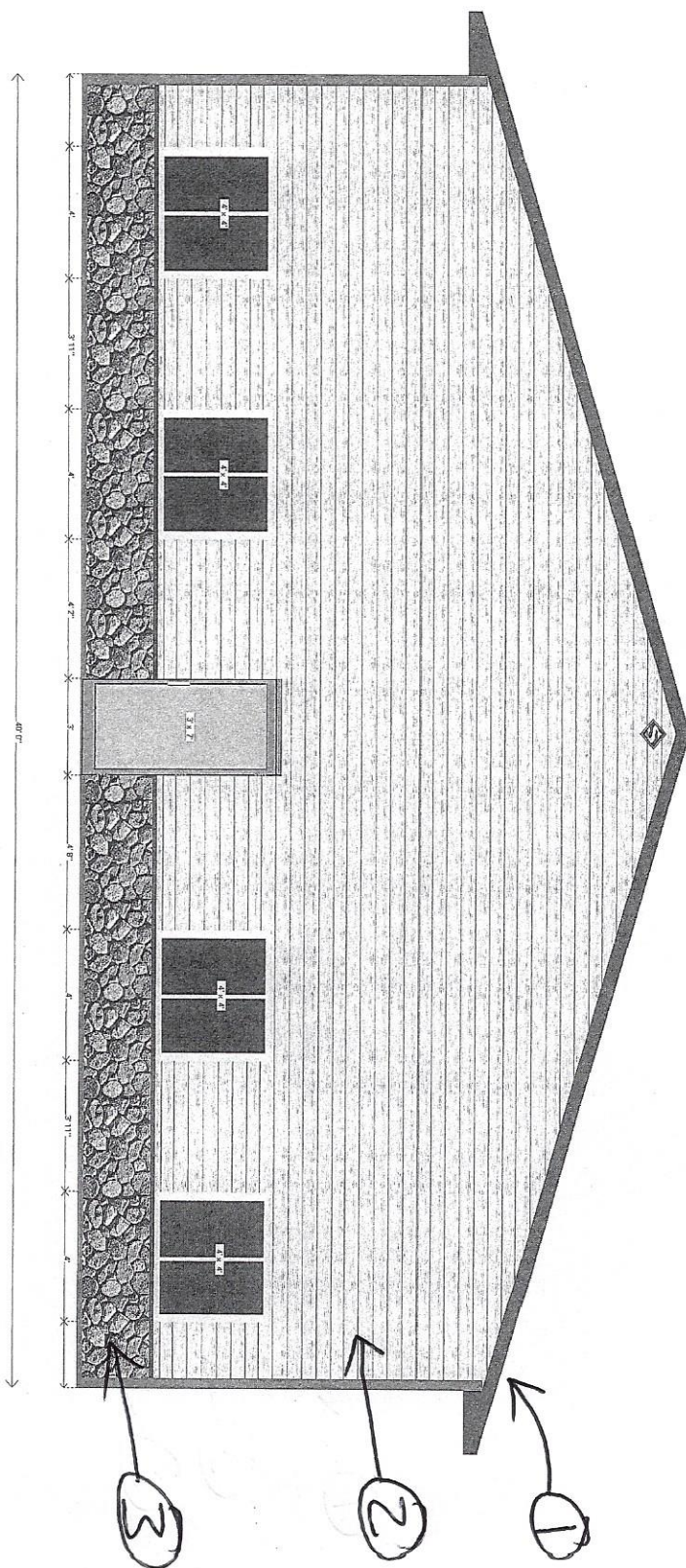
① = metal roof

② = horizontal metal siding

③ = masonry veneer

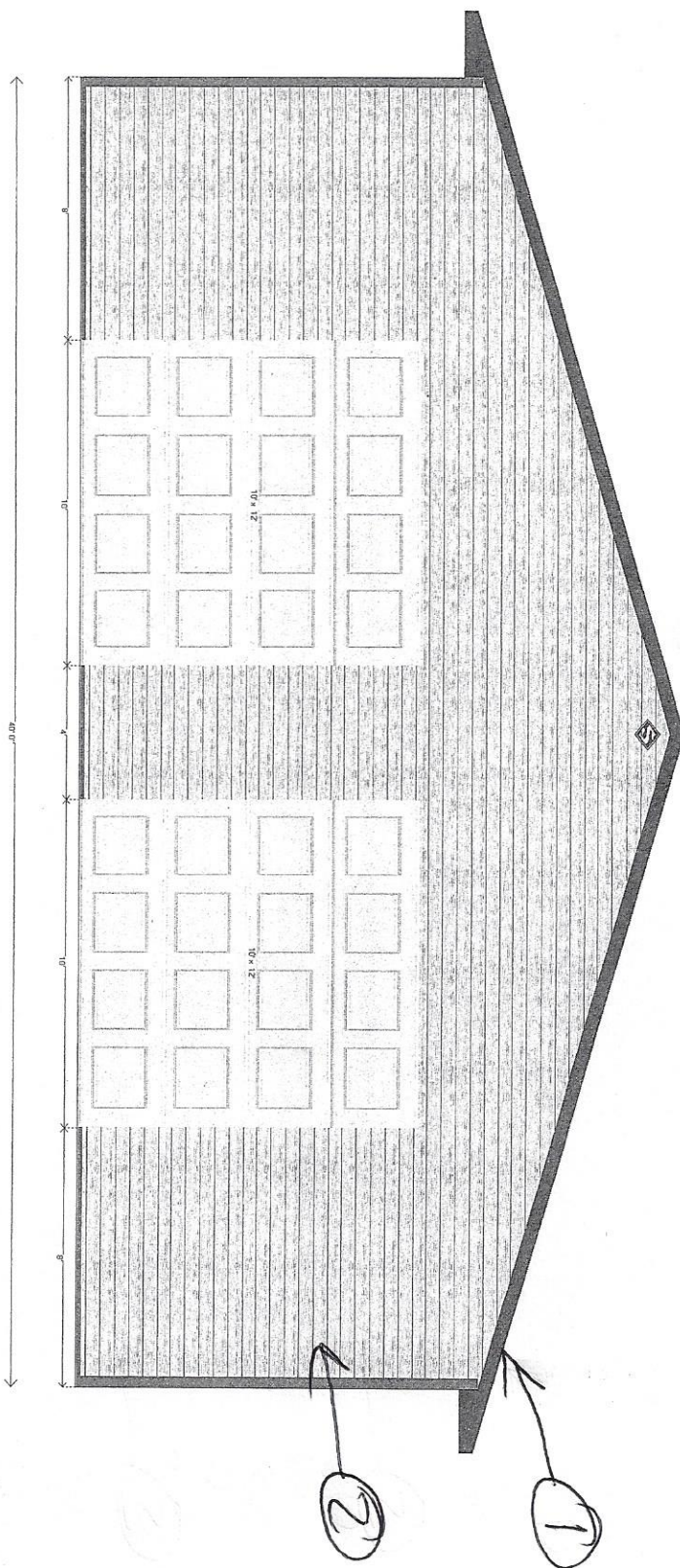


ELEVATION PLAN (BY DIRECTION, ALL WINES) -- East





ELEVATION PLAN (BY DIRECTION, ALL WINES) -- West



484



## NOTICE OF PERMIT APPLICATION STATUS

**Project:** Pro Courier

**Date:** September 11, 2018

**Applicant:** Pro Courier Inc.  
8375 Sunset Rd NE  
Spring Lake Park, MN 55432

**Permit Application #:** 18-129

**Location:** 8370 Sunset Road NE, Spring Lake Park, MN

At their meeting on September 10, 2018, the Board of Managers of the Coon Creek Watershed District **approved** the above referenced project with 5 stipulations: **This is NOT a permit.**

### ISSUES/CONCERNS:

ISSUE	NEED
<b>Escrows:</b> $\$2,000 + (1.78 \text{ ac} * \$500/\text{ac}) = \$2,850.00$	1. Receipt of escrows.
<b>Stormwater &amp; Hydraulics:</b> Due to the nature of the project including fueling tanks and vehicle maintenance along with the location within a DWSMA, infiltration is not allowed.	2. Wet basins need to be lined to ensure no infiltration on-site.
<b>Soils &amp; Erosion Control:</b> Dewatering is needed during the construction of the proposed project.	3. Provide permit from DNR for temporary dewatering activities.
<b>Groundwater:</b> Construction plans note storage tanks on-site. However, it is unclear if there is a containment system or contingency plan. Regardless of MPCA requirements, District requires additional information to ensure protection of downstream receiving waters ensure from potential spills/leaks.	4. Provide information regarding final tank locations, containment system and/or contingency plan for on-site tanks to ensure potential leaks/spills will not impact downstream receiving waters.
<b>Maintenance:</b> It is unknown who will be responsible for the inspection and maintenance of stormwater facilities. A	5. Provide an O&M Agreement that meets District requirements.

maintenance agreement has not been executed. The applicant has not submitted a Maintenance Plan for each Stormwater Treatment Practice.	
---	--

To secure Board review and obtain your permit, the District must receive:

1. Receipt of escrows.
2. Wet basins need to be lined to ensure no infiltration on-site.
3. Provide permit from DNR for temporary dewatering activities.
4. Provide information regarding final tank locations, containment system and/or contingency plan for on-site tanks to ensure potential leaks/spills will not impact downstream receiving waters.
5. Provide an O&M Agreement that meets District requirements.

Please be advised that **this is NOT a permit**, and that work without a permit is a violation of the terms of the Coon Creek Watershed District Rule 5.1. If you have any questions, please call 763-755-0975.

Sincerely,



Matt Danzl  
Water Resource Regulation Coordinator

cc: File 18-129  
Scott Thompson, Welsh Construction  
Ed Matthiesen, Wenck  
Eileen Weigel, Wenck  
Luke Martinkosky, CCWD  
Phil Gravel, Spring Lake Park

**Note:** Please respond to each of these items in writing when re-submitting the revised plans to the District. **Please submit written responses below the original typed comments from the District using extra sheets as necessary, which will be provided in a digital format.** If you have any questions, feel free to contact Matt Danzl at (763) 755-0975.

## COON CREEK WATERSHED DISTRICT PERMIT REVIEW

**MEETING DATE:** September 10, 2018  
**AGENDA NUMBER:** 18  
**FILE NUMBER:** 18-129  
**ITEM:** Pro Courier

---

**RECOMMENDATION:** Approve with 5 Stipulations

---

**APPLICANT:** Pro Courier Inc.  
8375 Sunset Rd NE  
Spring Lake Park, MN 55432

**PURPOSE:** Parking Lot and maintenance building construction  
2,680 sq ft building on 1.8 acre lot

**LOCATION:** 8370 Sunset Road NE, Spring Lake Park, MN



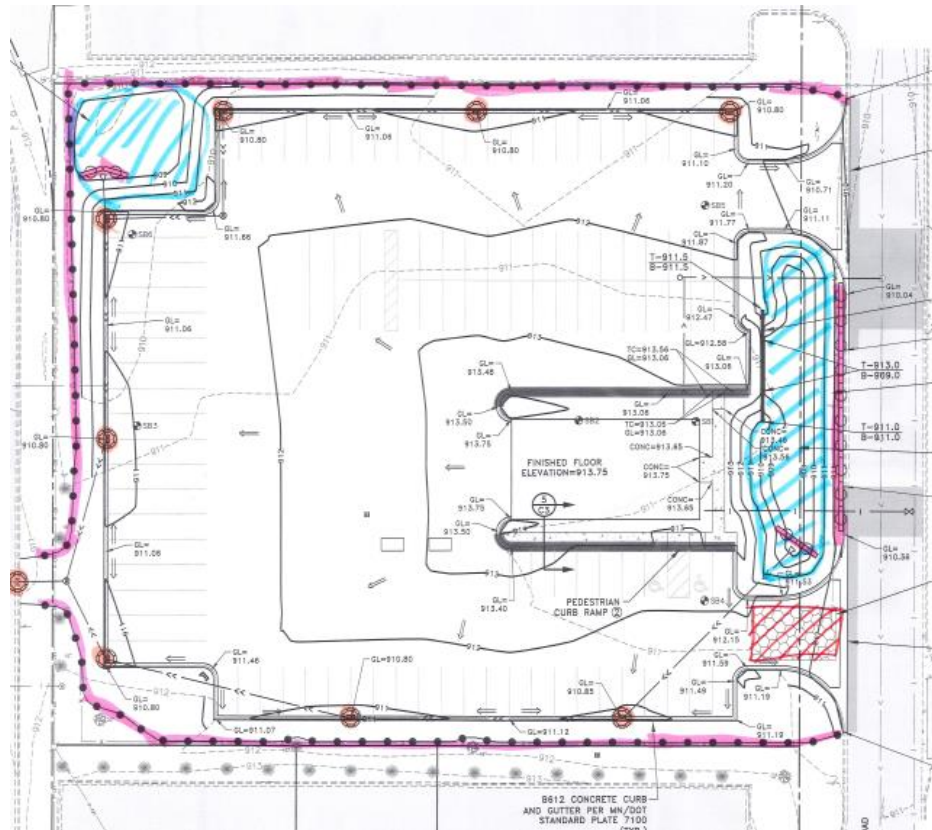
**APPLICABILITY:**

1. One or more cumulative acres of land disturbance
2. Endangered, Threatened or Special concern species, elements or communities

**EXHIBITS:**

1. Construction Plan set (8 sheets); by Hakanson Anderson, dated 8/28/18, received 8/29/18.

2. Stormwater Management Report; by Hakanson Anderson, dated 8/28/18, received 8/29/18.
3. Geotechnical Report; by Element Materials Technology, dated 8/6/18, received 8/14/18



**PREVIOUS ACTION TAKEN:** The project was tabled at the August 27, 2018 meetings with stipulations.

1. Receipt of escrows.
2. Project should be redesigned to meet water quality and rate control requirements.
3. Update HydroCAD model using MSE-3 rainfall distribution.
4. Clarify drainage to basin 1B.
5. Sumps must be a minimum of 4 feet deep to prevent resuspension.
6. Update Paving and Restoration plan to exclude stormwater features from fertilizer application.
7. Update construction plans to include the following:
  - a. Stabilize vegetation within 7 days of rough grading or inactivity.
  - b. Clearly locate construction entrance points on the erosion and sediment control plan.
  - c. Provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.

8. Provide statement whether dewatering will be required for the construction of the proposed project. If yes, provide well-field location, rates, discharge location, schedule and quantities.
9. Provide information regarding containment system and contingency plan for on-site tanks.
10. Provide an O&M Agreement that meets District requirements.

**FINDINGS:**

**Pre-application Meeting:** The project as submitted has received a general review during a pre-application meeting.

**Ditches:** There is not a public ditch on the property.

**Ditch Hydraulics:** A crossing of the ditch is not proposed.

**Erosion and Sediment Control:** Soils affected by the proposal are Lino and Zimmerman.

- Stabilizing vegetation is proposed for disturbed areas within seven (7) days of rough grading.
- Soil stockpiles have been proposed to be fitted with sediment-trapping measures to prevent soil loss.
- Adjacent properties and stormwater ponds are protected from sediment deposition.
- Construction schedules detailing when sediment trapping measures will occur; stabilization of earthen structures and the general timing of construction phases have been provided.
- Stabilization adequate to prevent erosion has been provided at the outlets of all storm sewer pipes.
- All storm sewer inlets are protected from sediment-laden water during construction.
- All work adjacent to water or related resource has taken precautions to contain sediment, and stabilize the work area during construction.
- Provisions have been made to minimize transport of sediment (mud) by runoff or vehicle racking onto the paved surface.
- Provisions have been made for cleaning road surfaces where sediment is transported by the end of the day.
- Construction entrance points are clearly located on the erosion and sediment control plan.
- The erosion and sediment control plan does provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.

Dewatering: Shallow ground water does exist on site. The project does require dewatering.



**Floodplain:** There is no floodplain on the property according to the District model and FEMA.

High Water Flooding: Information has been provided to substantiate low floor elevations. Low floor elevations do meet the criteria for the City of Spring Lake Park.

**Groundwater:** Geotechnical information collected in June 2018 indicates long term groundwater elevation is present at 7-9 feet below the surface.

The project site is within the 10 Year Well Head Protection Area/Drinking Water Supply Management Area.

The proposal does contain a land use discouraged or prohibited by the Safe Drinking Water Supply Act (SDSA). Those uses include:

- Storage, production, disposal or treatment of hazardous materials
- Vehicle or equipment maintenance/fueling area
- Underground storage tanks
- Storage and use of petroleum products
- Storage and use of petroleum products exceeding fifty-five (55) gallons

It is unknown if a containment system or contingency plans exists.

**Historic Sites:** The proposed project does not include sites of historic or archeological significance.

**Local Planning & Zoning:** The proposed project is consistent with local planning and zoning. There is an approved local water plan.

Property owners affected by changes in drainage should be notified and acknowledge the changes proposed.

**Maintenance:** The owner of the Stormwater Management features and treatment practices is Pro Courier. The Stormwater Treatment Practices (STPs) consisting of the following:

Stormwater Treatment Practices	Number	Inspection & Maintenance Responsibility
Basins	2	Pro Courier
Sumps	2	Pro Courier

A maintenance agreement has not been executed. The applicant has submitted a Maintenance Plan for each Stormwater Treatment Practice which is under review.

Easements: The proposed project does not include ditch maintenance easement. A ditch maintenance easement is not required. A maintenance access to all storm water management features is provided.

**Stormwater & Hydrology:** Infiltration of runoff from paved areas is not allowed within the project area due to the location within a WHP/DWSMA and general infiltration is not allowed on the project site due to site activities (vehicle fueling/maintenance). The stormwater management system proposes retention basins.

Drainage sensitive uses do not exist downstream from the proposed site. The rate of post-development runoff from the site does not exceed predevelopment rates, or rates which would interfere with sensitive downstream land uses. Properties and waterways downstream from the project are protected from erosion due to increases in the volume, velocity and peak water flow rates of stormwater runoff. Concentrated storm water leaving a site is discharged directly into a well-defined natural or man-made off-site receiving channel or pipe. All on-site constructed storm water conveyance channels are constructed to withstand the expected velocity from a 2-year frequency storm without erosion.

**Water Quality:** The proposed project does not cause an exceedance of State water quality standards. The project does not contribute to the adverse impact of wetlands through inundation or volume of flow. All discharges into wetlands are pretreated and are designed correctly. All work adjacent to wetlands, waterbodies and water conveyance systems are protected from erosion. The proposal will not detrimentally affect the existing water quality of the receiving water. The proposal will not cause extreme fluctuations of water levels or temperature changes.

Impairments: This project is not within one (1) mile of an Impaired Water.

There are new impervious surfaces proposed as part of this project.

**Wetlands:** Wetlands do not exist on-site according to the 1987 Federal manual, NWI, PWI and Soil Survey.

**Wetland Replacement Plan:** A wetland replacement plan has not been submitted and is not required.

**Wildlife:** The proposed project does include endangered or threatened species, rare natural communities, colonial waterbird nesting sites, migratory waterfowl concentration areas, deer wintering areas or wildlife travel corridors.

The endangered or threatened species, rare natural community is Gophersnake (last observed in 1942).

The applicant has not contacted the MDNR natural heritage or endangered species program and contact is not required.

If the project is present, the project does not propose substantial adverse alteration or significant detrimental impact on a species or removal of a plant species will occur.

**Performance Escrow:** \$2,850.00

**Wetland Escrow:** \$ N/A

There are not ditch liens on the property.

**ISSUES/CONCERNS:**

<b>ISSUE</b>	<b>NEED</b>
<b>Escrows:</b> $\$2,000 + (1.70 \text{ ac} * \$500/\text{ac} = \$2,850.00$	1. Receipt of escrows.
<b>Stormwater &amp; Hydraulics:</b> Due to the nature of the project including fueling tanks and vehicle maintenance along with the location within a DWSMA, infiltration is not allowed.	2. Wet basins need to be lined to ensure no infiltration on-site.
<b>Soils &amp; Erosion Control:</b> Dewatering is needed during the construction of the proposed project.	3. Provide permit from DNR for temporary dewatering activities.
<b>Groundwater:</b> Construction plans note storage tanks on-site. However, it is unclear if there is a containment system or contingency plan. Regardless of MPCA requirements, District requires additional information to ensure protection of downstream receiving waters ensure from potential spills/leaks.	4. Provide information regarding final tank locations, containment system and/or contingency plan for on-site tanks to ensure potential leaks/spills will not impact downstream receiving waters.
<b>Maintenance:</b> It is unknown who will be responsible for the inspection and maintenance of stormwater facilities. A maintenance agreement has not been executed. The applicant has not submitted a Maintenance Plan for each Stormwater Treatment Practice.	5. Provide an O&M Agreement that meets District requirements.

**RECOMMENDATION:** Approve with 5 Stipulations

**Stipulations:**

1. Receipt of escrows.
2. Wet basins need to be lined to ensure no infiltration on-site.
3. Provide permit from DNR for temporary dewatering activities.
4. Provide information regarding final tank locations, containment system and/or contingency plan for on-site tanks to ensure potential leaks/spills will not impact downstream receiving waters.
5. Provide an O&M Agreement that meets District requirements.

## **OPERATIONS AND MAINTENANCE AGREEMENT FOR STORMWATER FACILITIES**

This Inspection, Operation and Maintenance Agreement is entered into \_\_\_\_\_, 2018, between Coon Creek Watershed District, a political subdivision of the State of Minnesota (District) and Pro Courier, Inc. (Owner). It is intended that the term Owner shall also apply to successors and assigns of the Owner.

### **RECITALS**

A. **WHEREAS**, The Owner holds title and is responsible for certain property in Anoka County, Minnesota, legally described as follows (Property):

Lot 29 – SPRING LAKE PARK PLAT A

B. **WHEREAS**, The District in connection with Coon Creek Watershed District Permit Application No. 18-129 and its associated documents has required that the Owner provide on the Property stormwater treatment practices (STPs) to accommodate stormwater quality and the rate control of area runoff as shown and described in the Comprehensive Stormwater Management Plan for the property in the approximate location depicted on the attached Exhibit A (System) and listed below in section 1.

**NOW, THEREFORE**, in consideration of mutual covenants of the parties and other valuable consideration, the parties agree as follows:

### **1. STORMWATER TREATMENT PRACTICES TO BE CONSTRUCTED AND MAINTAINED**

- a. The Owner agrees to construct and maintain Stormwater Treatment Practices (STPs) consisting of the following:
  - Sump Manholes (2 each)
  - Storm Sewer (677 linear feet)

### **2. FINAL INSPECTION REPORTS AND AS BUILT CERTIFICATIONS**

- 1. The Owner shall certify to the District within 30 days of completion of the STPs that the STPs are constructed in accordance with the approved plan and specifications. The Owner shall provide as-built certifications of the locations of all access and maintenance easements and each STP, including those within 50 feet of water resources, and the drainage areas served by each stormwater treatment practice.

### **3. MAINTENANCE PLANS FOR THE STORMWATER TREATMENT PRACTICES**

- 1. The Owner agrees to maintain in perpetuity the STPs in accordance with the approved maintenance plans hereby attached (Appendix A) and in a manner that will permit the STPs to perform the purposes for which they were designed and constructed and in accordance with the standards by which they were designed and

constructed, all as shown and described in the approved stormwater plan for this project. This includes all pipes and channels built to convey stormwater to STPs, as well as structures, improvements, and vegetation provided to control the quantity and quality of the stormwater.

2. The Owner shall provide a maintenance plan for each STP. The maintenance plans shall include a schedule for monthly and annual maintenance. The Owner shall maintain, update and store maintenance records for stormwater treatment practices. The specific maintenance plans for each stormwater treatment practice as follows in the attached Appendix A;
3. The Owner shall perform all maintenance in accordance with the maintenance plan and shall complete all repairs identified through regular inspections, and any additional repairs requested in writing by the Coon Creek Watershed District or the City of Spring Lake Park.

#### **4. INSPECTION AND REPAIRS OF STORMWATER TREATMENT PRACTICES**

1. The Owner shall inspect all STPs listed above, every three (3) months and after all storm events greater than 2 inches for the first year of operation.
2. The Owner shall inspect all STPs listed above at least once every year thereafter, or more frequently as specified for particular STP's in the attached Appendix A.
3. The Owner shall submit Inspection Reports in writing to the Coon Creek Watershed District and the City of Spring Lake Park annually. The reports shall include the information presented in Appendix B.
4. The Owner grants permission to the Coon Creek Watershed District and the City of Spring Lake Park to enter property and to inspect all aspects of the STPs and related drainage whenever the Coon Creek Watershed District or City of Spring Lake Park deems necessary. The Coon Creek Watershed District shall provide the Owner copies of the inspection findings and a directive to commence with the repairs if necessary.
5. The Owner shall make repairs within ten (10) business days from receipt of a notice of inspection and/or a written citation of maintenance need; the Owner must receive written approval from the Coon Creek Watershed District or City of Spring Lake Park for a repair schedule.

#### **5. FAILURE TO MAINTAIN**

In the event of any default or failure by the Owner in the performance of any of the covenants and warranties pertaining to the maintenance of stormwater treatment practices, or the Owner fails to maintain the STPs in accordance with the approved design standards and Maintenance Plan, or, in the event of an emergency as determined by the Coon Creek Watershed District or City of Spring Lake Park, it is the sole discretion of the Coon Creek Watershed District or City of Spring Lake Park, after providing reasonable notice to the Owner, to enter the property and take

whatever steps necessary to correct deficiencies and to charge the cost of such repairs to the Owner. The Owner shall reimburse the Coon Creek Watershed District or City of Spring Lake Park upon demand, within thirty (30) days of receipt thereof for all actual costs expended by the Coon Creek Watershed District or City of Spring Lake Park.

All costs expended by the Coon Creek Watershed District or City of Spring Lake Park in performing such necessary maintenance or repairs shall constitute a lien against the properties of the Owner. Nothing herein shall obligate the Coon Creek Watershed District or City of Spring Lake Park to maintain the stormwater treatment practices.

## **6. FUNDING**

The Owner shall specify the method of funding for the perpetual inspection, operation and maintenance of the STPs listed in this Agreement. This funding mechanism shall be approved by the Coon Creek Watershed District or City of Spring Lake Park.

## **7. INDEMNIFICATION**

The Owner hereby agrees that it shall save, hold harmless, and indemnify the Coon Creek Watershed District and City of Spring Lake Park and its employees and officers from and against all liability, losses, claims, demands, costs and expenses arising from, or out of, default or failure by the Owner to maintain the stormwater treatment practices, in accordance with the terms and conditions set forth herein, or from acts of the Owner arising from, or out of, the construction, operation, repair or maintenance of the stormwater treatment practices.

1. The parties hereto expressly do not intend by execution of this Agreement to create in the public, or any member thereof, any rights as a third-party beneficiary or to authorize anyone not a party hereof to maintain a suit for any damages pursuant to the terms of this Agreement.

## **8. NOTICES AND MISCELLANEOUS**

1. Any notices required under this Agreement must be in writing and will be deemed to have been properly given or served as of any of the following dates: (i) on the date of personal service upon the person to whom the Notice is addressed, or if such person is not available, the date the Notice is left at the address of the person to whom it is directed, (ii) on the date the Notice is postmarked by the United States Post Office, provided it is sent prepaid, registered or certified mail. The address of the signatories to this Agreement is set forth below:

To the Owner:	Pro Courier, Inc Gregory Erickson 8375 Sunset Road NE Spring Lake Park, MN 55432
---------------	---

Coon Creek Watershed District  
Attention: District Administrator  
Suite 100  
12301 Central Avenue NE  
Blaine, MN 55434

2. Each party may, upon at least ten days prior written Notice, change its respective address and specify any other address within the State of Minnesota. Refusal to accept delivery of a Notice or the inability to deliver a Notice or delivery of a notice to an incorrect address because of an address change which was not properly communicated will not defeat or delay the giving of a Notice.
3. The current owner shall promptly notify the District and the City of Spring Lake Park when the Owner legally transfers any of the Owner's responsibilities for the stormwater treatment practices. The Owner shall supply the District and the City of Spring Lake Park with a copy of any document of transfer executed by both parties.
4. Violation of the inspection and/or maintenance provisions of this Agreement is a violation of the CCWD permit for the project for which the District may take action against the property Owner.
5. This Agreement and its terms and conditions may be modified or canceled only upon the joint written approval of the Owner and the District, their successors or assigns.
6. This Agreement will run with the land, and is binding and enforceable against the parties, their successors and assigns, including all subsequent owners of the property. Upon execution of this agreement, Owner will, at its expense, record this Agreement with the Anoka County Recorder/Registrar. This Agreement will be unlimited in duration, without being re-recorded.

Pro Courier, Inc

By \_\_\_\_\_

Its

STATE OF MINNESOTA                     )  
   )ss.  
COUNTY OF                               )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2018, by Gregory Erickson, the President of Pro Courier, Inc, on its behalf.

---

---

Notary Public

**Coon Creek Watershed District**

By: \_\_\_\_\_  
President of the Coon Creek Watershed District Board of Managers

STATE OF MINNESOTA                    )  
  )ss.  
COUNTY OF \_\_\_\_\_)

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 2018, by \_\_\_\_\_, the President  
of the Coon Creek Watershed District Board of Managers, on behalf of the Coon Creek  
Watershed District.

\_\_\_\_\_  
Notary Public

This instrument was drafted by:

Hakanson Anderson  
3601 Thurston Avenue  
Anoka, MN 55303



## **APPENDIX A:**

### **STORMWATER MAINTENANCE PLANS AND PRACTICES**

**Goal:**

To capture and remove sediment from stormwater runoff.

**Benchmarks for Maintenance**

- **Accumulation of sediment, debris & floatables:** Excessive build-up of sediment, debris & floatables within the storm sewer and sump manholes can obstruct the flow and efficiency of the stormwater facilities.

**MONTHLY Activities (April through October)**

1. Remove debris and/or sediment from the sump manholes and storm sewer if more than 1/3 full.
2. Check sump manholes and storm sewer after rain events greater than 2 inches or a minimum of twice a year. Repair as necessary to ensure functionality.

**ANNUAL Activities**

1. Remove all sediment from the sump manholes and storm sewer.
2. Repair all erosion areas.

**APPENDIX B:**  
**STORMWATER FACILITY INSPECTION FORM**

Date of Inspection: \_\_\_\_\_

Name of Inspector: \_\_\_\_\_

**A. Sump Manholes**

No. 1 – Maintenance Required?

☐ No ☐ Yes

Comments: \_\_\_\_\_

No. 2 – Maintenance Required?

☐ No ☐ Yes

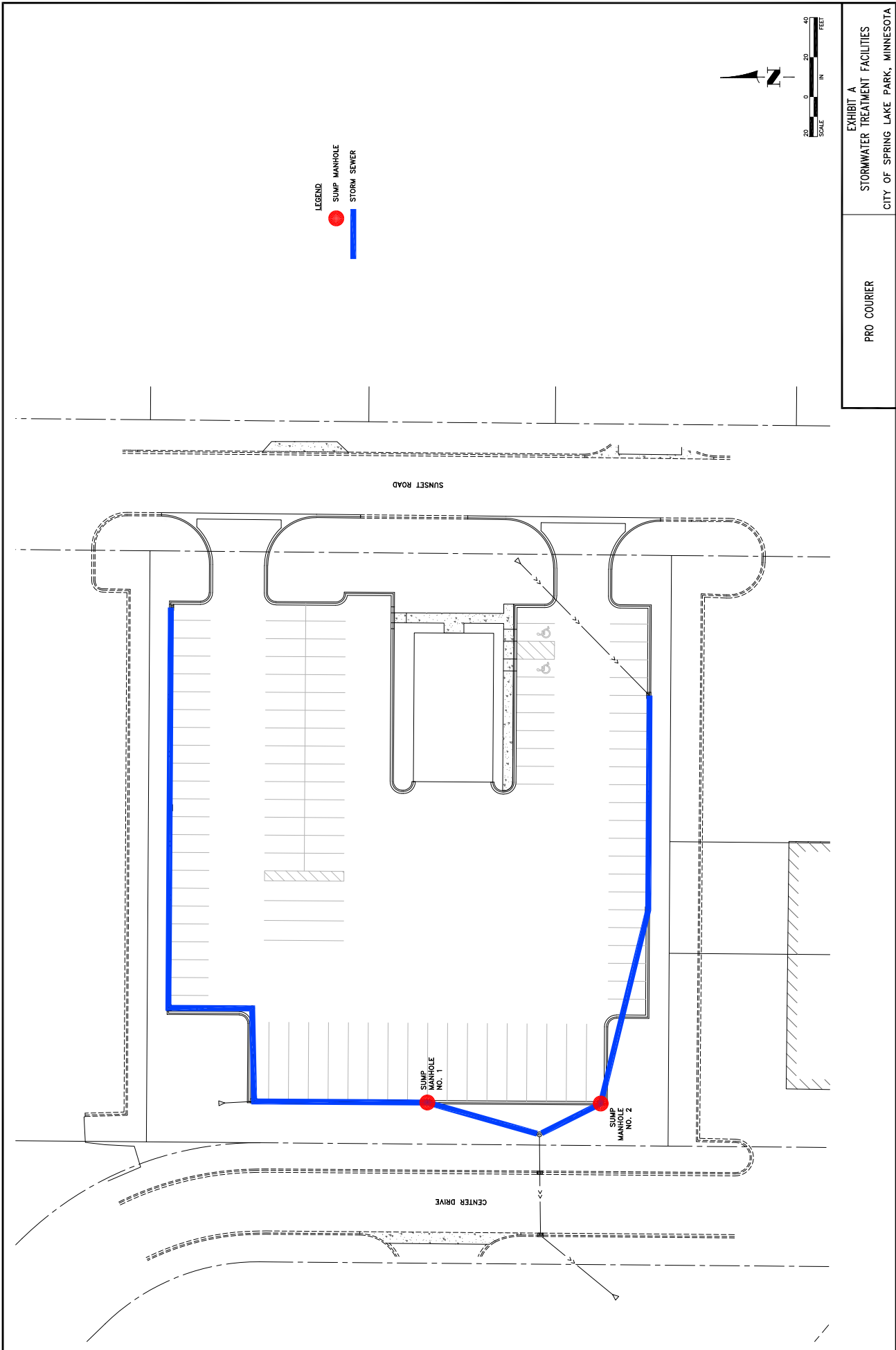
Comments: \_\_\_\_\_

**B. Storm Sewer**

Maintenance Required?

☐ No ☐ Yes

Comments: \_\_\_\_\_



# STORMWATER MANAGEMENT PLAN

**Pro Courier**

Spring Lake Park, Minnesota

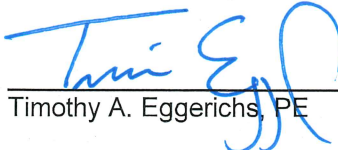
July 30, 2018

Revised August 28, 2018



3601 Thurston Avenue  
Anoka, Minnesota 55303  
(763) 427-5860

I hereby certify that this Plan, Specification or Report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

  
\_\_\_\_\_  
Timothy A. Eggerichs, PE

43362  
\_\_\_\_\_  
Lic. No.

8-28-18  
\_\_\_\_\_  
Date

# TABLE OF CONTENTS

## PAGE

### TABLE OF CONTENTS

### SUMMARY OF RESULTS

### FIGURES

Figure 1 – Drainage Boundaries, Existing Conditions

Figure 2 – Drainage Boundaries, Proposed Conditions

### APPENDIX 1 EXISTING CONDITIONS

Schematic.....	1
Summary of Output (1-Year) .....	2-3
Summary of Output (10-Year) .....	4-5
Summary of Output (25-Year) .....	6-7
Summary of Output (100-Year) .....	8-9

### APPENDIX 2 PROPOSED CONDITIONS

Schematic.....	1
Summary of Output (1-Year) .....	2-7
Summary of Output (10-Year) .....	8-13
Summary of Output (25-Year) .....	14-19
Summary of Output (100-Year) .....	20-25

### APPENDIX 3 SHSAM SUMMARIES

### APPENDIX 4 ATLAS 14 RAINFALL EVENTS

# ***SUMMARY OF RESULTS***

---

## **GENERAL**

The proposed Pro Courier site is located between Center Drive and Sunset Road, approximately a quarter mile south of 85<sup>th</sup> Avenue, in the City of Spring Lake Park. The project includes construction of a maintenance building and parking lot. The work proposed includes clearing and grubbing, miscellaneous removals, site grading and building, sewer and water service, storm sewer and parking lot construction. Stormwater from the site drains to existing storm sewer systems in Center Drive and Sunset Road. Rate control and water quality requirements will be addressed as part of this project.

The City of Spring Lake Park, Coon Creek Watershed District and MPCA dictate the stormwater requirements for the site. This Stormwater Management Plan is based on their guidelines.

## **RATE CONTROL**

Stormwater facilities will be constructed on site. These facilities are designed to limit the proposed discharge rates below the existing discharge rates for the 1-, 10-, 25- and 100-year storm events. HydroCAD was used to model existing and proposed conditions. The Atlas 14 rainfall events were used and are summarized in Appendix 4.

### ***Existing Conditions***

The existing site consists of a bituminous driveway/parking area and lawn areas. The site consists of Type "A" soils. The area analyzed drains to storm sewer systems located in Center Drive and Sunset Road. The existing drainage areas are shown on Figure 1.

### ***Proposed Conditions***

For the proposed conditions model, the site was divided into drainage areas that correspond to catch basin and basin locations. An underground storm sewer system and two basins for live storage are proposed to address the rate control requirements for the improvements. The storm sewer system and basins are designed to limit the proposed discharge from the site.

The following table summarizes the existing and proposed discharge rates for each storm event:

<b>Storm Event</b>	<b>Existing Discharge (cfs)</b>	<b>Proposed Discharge (cfs)</b>
1-Year	1.07	0.99
10-Year	1.87	1.86
25-Year	2.39	2.38
100-Year	4.26	4.22

As shown, the discharge rates decrease from existing to proposed conditions for the 1-, 10-, 25- and 100-year storm events. The existing and proposed HydroCAD results are included in Appendices 1 and 2. The proposed drainage divides are shown on Figure 2.

## **VOLUME CONTROL**

The site is within a Drinking Water Supply Management Area and will include fueling tanks and vehicle maintenance. Infiltration is not allowed for this site.

## **WATER QUALITY**

The Coon Creek Watershed District requires that stormwater treatment practices for new developments shall be designed to remove 80% of the average annual post development Total Suspended Solids (TSS). Two Sump manholes will be constructed to provide a minimum TSS removal efficiency of 80%. SHSAM was used to model the total suspended solids (TSS) removal efficiency of the sump manholes. The following is a summary of the removal efficiency for the two sump manholes.

<b>Structure</b>	<b>Required TSS Removal Efficiency</b>	<b>Actual TSS Removal Efficiency</b>
CB/MH #3	80%	89.7%
CB/MH #4	80%	83.2%

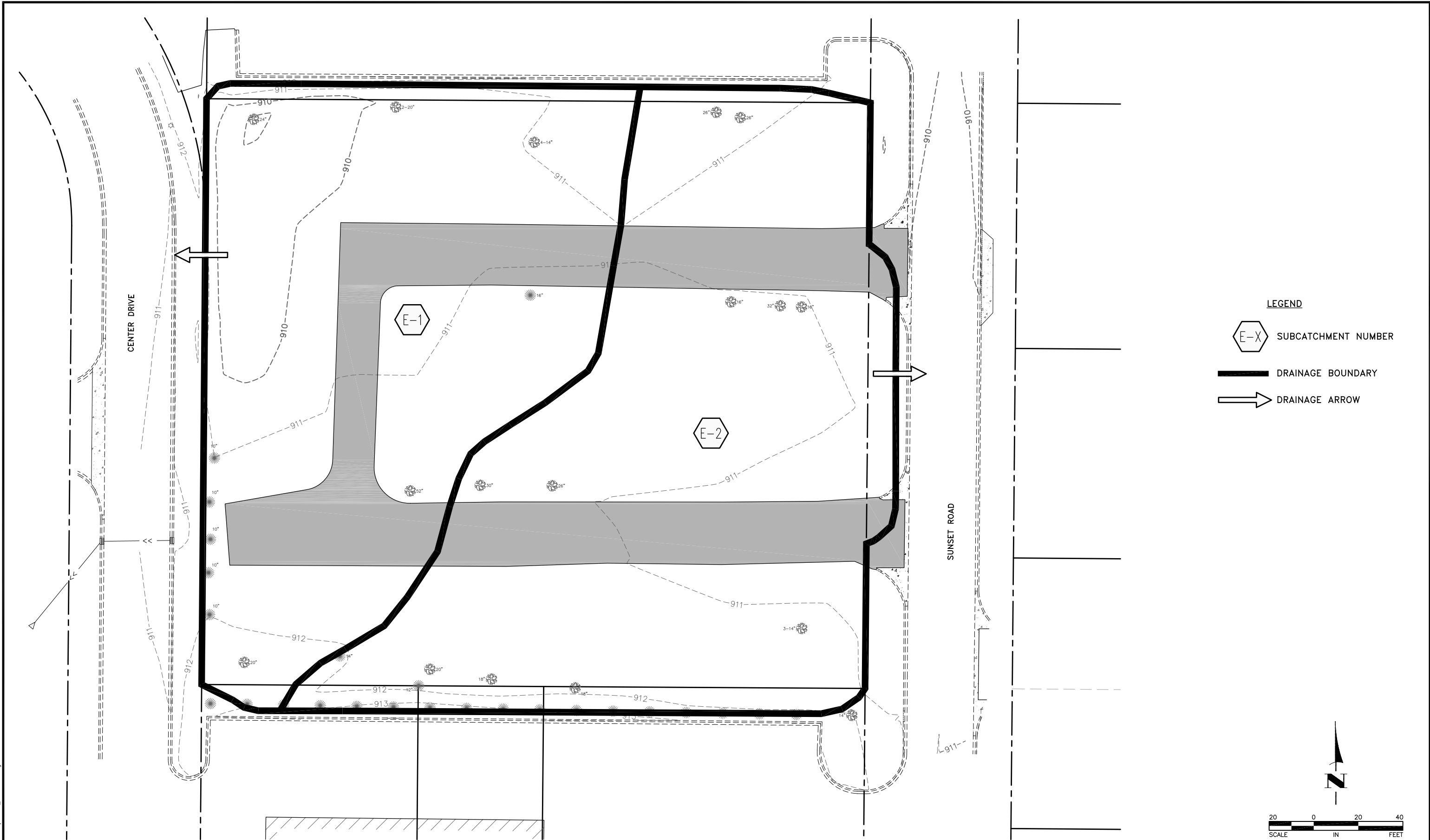
As shown, the TSS removal efficiency for the site is greater than 80%. The SHSAM summaries are included in Appendix 3.

# FIGURES

Figure 1 – Drainage Boundaries, Existing Conditions  
Figure 2 – Drainage Boundaries, Proposed Conditions



Jul 27, 2018 - 8:25am  
K:\PRIVATE\3841.12\ENGINEERING\384112\_DRAINAGE.dwg



DATE	REVISION

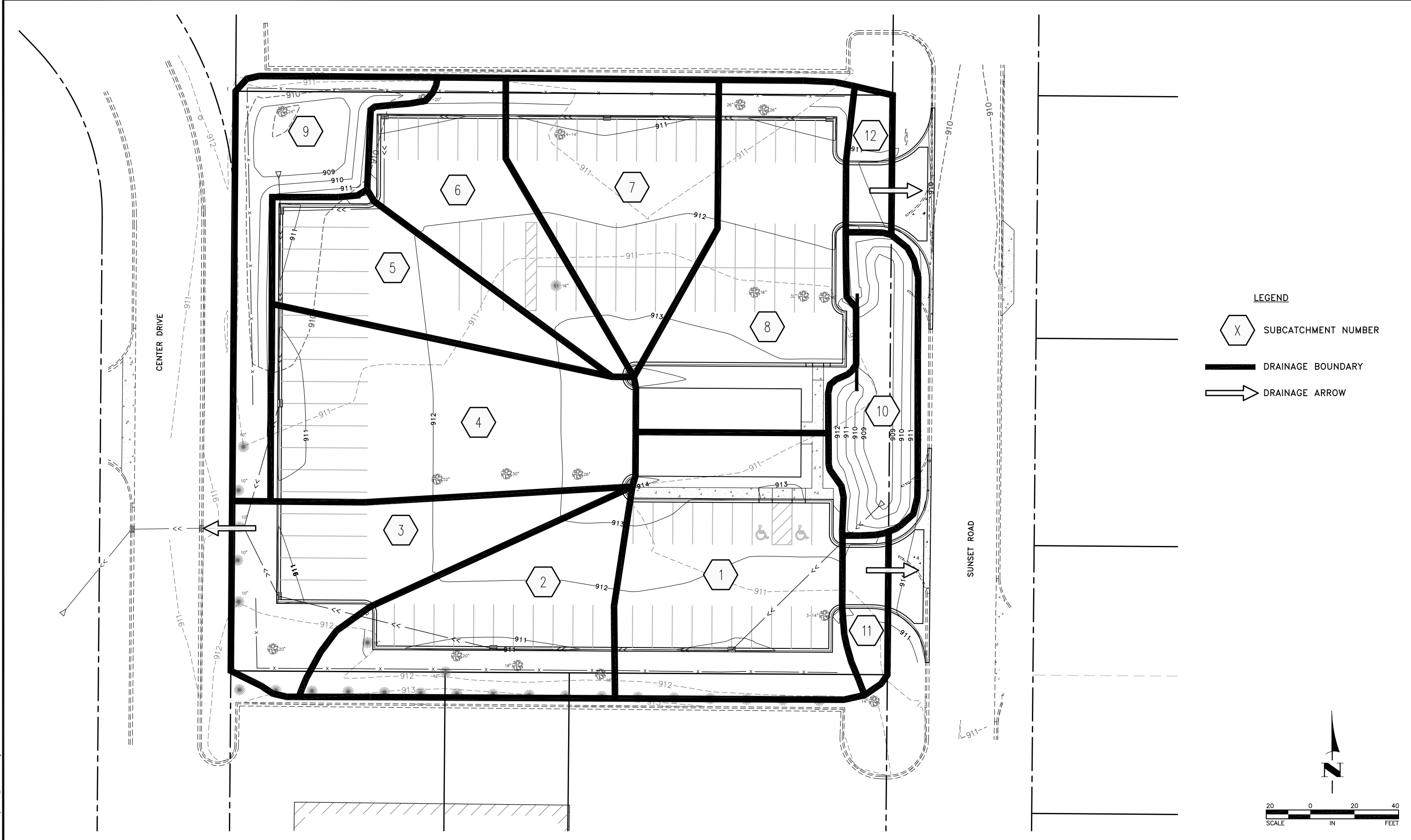





**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

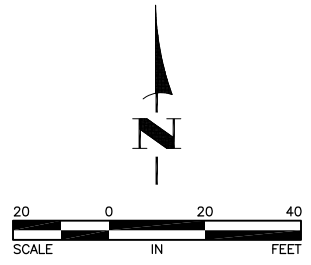
PRO COURIER

**FIGURE 1**  
**DRAINAGE BOUNDARIES**  
**EXISTING CONDITIONS**

Aug 28, 2018 - 6:11pm  
K:\PRIVATE\3841.12\ENGINEERING\384112\_DRAINAGE.dwg



- LEGEND
-  SUBCATCHMENT NUMBER
  -  DRAINAGE BOUNDARY
  -  DRAINAGE ARROW



DATE	REVISION



**Hakanson Anderson**  
Civil Engineers and Land Surveyors  
3601 Thurston Ave., Anoka, Minnesota 55303  
763-427-5860 FAX 763-427-0520  
www.hakanson-anderson.com

PRO COURIER

FIGURE 2  
DRAINAGE BOUNDARIES  
PROPOSED CONDITIONS

## MEMORANDUM

**TO:** Matt Danzl, CCWD Water Resource Regulation Coordinator

**FROM:** Tim Eggerichs, Project Engineer

**DATE:** August 28, 2018

**RE:** Pro Courier  
City of Spring Lake Park  
Permit Application No. 18-129

---

We have received your comments dated August 28, 2018 for the Pro Courier Site in the City of Spring Lake Park. Your comments and our responses are as follows:

1. COMMENT: Receipt of escrows.

**HAI Response**

**(8/28/18): Applicant will provide escrows.**

2. COMMENT: Project should be redesigned to meet water quality and rate control requirements.

**HAI Response**

**(8/28/18): The stormwater features have been redesigned. Infiltration has been eliminated.**

3. COMMENT: Update HydroCAD model using MSE-3 rainfall distribution.

**HAI Response**

**(8/28/18): Models have been updated in the revised Stormwater Management Plan.**

4. COMMENT: Clarify drainage to basin 1B.

**HAI Response**

**(8/28/18): Subcatchment 10 drains to Basin 1B. Basins 1A and 1B are used primarily for live storage.**

5. COMMENT: Sumps must be a minimum of 4 feet deep to prevent resuspension.

**HAI Response**

**(8/28/18): Sump depths have been revised.**

6. COMMENT: Update Paving and Restoration plan to exclude stormwater features from fertilizer application.

**HAI Response**

**(8/28/18): Fertilizer has been eliminated.**

- 7a. COMMENT: Stabilize vegetation within 7 days of rough grading or inactivity.

**HAI Response**

**(8/28/18): General note 3 on Sheet C6 has been revised.**

- 7b. COMMENT: Clearly locate construction entrance points on the erosion and sediment control plan.

**HAI Response**

**(8/28/18): Construction exit has been added to Sheet C6.**

- 7c. COMMENT: Provide for the repair and maintenance of all temporary and permanent erosion and sediment control practices.

**HAI Response**

**(8/28/18): General note 1 on Sheet C6 has been added.**

8. COMMENT: Provide statement whether dewatering will be required for the construction of the proposed project. If yes, provide well-field location, rates, discharge location, schedule and quantities.

**HAI Response**

**(8/28/18): Some minor dewatering is anticipated for the sewer and water service installation. No wells are anticipated. We assume that the contractor will use a rock trench and pump to dewater. Estimated discharge is 100 gpm for 6 hours for a total volume of 36,000 gallons.**

9. COMMENT: Provide information regarding containment system and contingency plan for on-site tanks.

**HAI Response**

**(8/28/18): The tanks will be permitted through the MPCA. It is my understanding that due to the size of the tanks, a containment system and contingency plan are not required.**

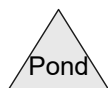
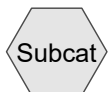
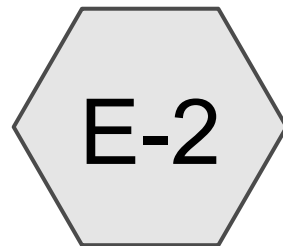
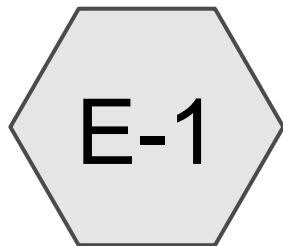
10. COMMENT: Provide an O&M Agreement that meets District requirements.

**HAI Response**

**(8/28/18): A draft O&M Agreement is attached.**

# APPENDIX 1

Existing Conditions  
(1-, 10-, 25- & 100-year Storm Events)



### 384112\_Existing Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 2

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

#### Subcatchment E-1:

Runoff Area=39,093 sf 21.07% Impervious Runoff Depth=0.47"  
Flow Length=200' Slope=0.0100 '/' Tc=13.2 min CN=WQ Runoff=0.52 cfs 0.035 af

#### Subcatchment E-2:

Runoff Area=45,770 sf 19.60% Impervious Runoff Depth=0.44"  
Flow Length=250' Slope=0.0100 '/' Tc=13.7 min CN=WQ Runoff=0.55 cfs 0.038 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.073 af Average Runoff Depth = 0.45"  
79.72% Pervious = 1.553 ac 20.28% Impervious = 0.395 ac

**384112\_Existing Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 3

**Summary for Subcatchment E-1:**

Runoff = 0.52 cfs @ 12.21 hrs, Volume= 0.035 af, Depth= 0.47"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 8,238	98	Impervious
* 30,855	39	Pervious
39,093		Weighted Average
30,855	39	78.93% Pervious Area
8,238	98	21.07% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
1.7	150	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.2	200	Total			

**Summary for Subcatchment E-2:**

Runoff = 0.55 cfs @ 12.21 hrs, Volume= 0.038 af, Depth= 0.44"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 8,970	98	Impervious
* 36,800	39	Pervious
45,770		Weighted Average
36,800	39	80.40% Pervious Area
8,970	98	19.60% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
2.2	200	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.7	250	Total			



### 384112\_Existing Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 4

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

#### Subcatchment E-1:

Runoff Area=39,093 sf 21.07% Impervious Runoff Depth=0.90"  
Flow Length=200' Slope=0.0100 '/' Tc=13.2 min CN=WQ Runoff=0.90 cfs 0.067 af

#### Subcatchment E-2:

Runoff Area=45,770 sf 19.60% Impervious Runoff Depth=0.84"  
Flow Length=250' Slope=0.0100 '/' Tc=13.7 min CN=WQ Runoff=0.97 cfs 0.074 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.141 af Average Runoff Depth = 0.87"  
79.72% Pervious = 1.553 ac 20.28% Impervious = 0.395 ac

**384112\_Existing Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 5

**Summary for Subcatchment E-1:**

Runoff = 0.90 cfs @ 12.21 hrs, Volume= 0.067 af, Depth= 0.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 8,238	98	Impervious
* 30,855	39	Pervious
39,093		Weighted Average
30,855	39	78.93% Pervious Area
8,238	98	21.07% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
1.7	150	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.2	200	Total			

**Summary for Subcatchment E-2:**

Runoff = 0.97 cfs @ 12.21 hrs, Volume= 0.074 af, Depth= 0.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 8,970	98	Impervious
* 36,800	39	Pervious
45,770		Weighted Average
36,800	39	80.40% Pervious Area
8,970	98	19.60% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
2.2	200	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.7	250	Total			

### 384112\_Existing Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 6

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

#### Subcatchment E-1:

Runoff Area=39,093 sf 21.07% Impervious Runoff Depth=1.28"  
Flow Length=200' Slope=0.0100 '/' Tc=13.2 min CN=WQ Runoff=1.15 cfs 0.096 af

#### Subcatchment E-2:

Runoff Area=45,770 sf 19.60% Impervious Runoff Depth=1.21"  
Flow Length=250' Slope=0.0100 '/' Tc=13.7 min CN=WQ Runoff=1.24 cfs 0.106 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.202 af Average Runoff Depth = 1.25"  
79.72% Pervious = 1.553 ac 20.28% Impervious = 0.395 ac

**384112\_Existing Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 7

**Summary for Subcatchment E-1:**

Runoff = 1.15 cfs @ 12.21 hrs, Volume= 0.096 af, Depth= 1.28"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 8,238	98	Impervious
* 30,855	39	Pervious
39,093		Weighted Average
30,855	39	78.93% Pervious Area
8,238	98	21.07% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
1.7	150	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.2	200	Total			

**Summary for Subcatchment E-2:**

Runoff = 1.24 cfs @ 12.22 hrs, Volume= 0.106 af, Depth= 1.21"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 8,970	98	Impervious
* 36,800	39	Pervious
45,770		Weighted Average
36,800	39	80.40% Pervious Area
8,970	98	19.60% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
2.2	200	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.7	250	Total			

### 384112\_Existing Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 8

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

#### Subcatchment E-1:

Runoff Area=39,093 sf 21.07% Impervious Runoff Depth=2.18"  
Flow Length=200' Slope=0.0100 '/' Tc=13.2 min CN=WQ Runoff=2.04 cfs 0.163 af

#### Subcatchment E-2:

Runoff Area=45,770 sf 19.60% Impervious Runoff Depth=2.09"  
Flow Length=250' Slope=0.0100 '/' Tc=13.7 min CN=WQ Runoff=2.22 cfs 0.183 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.346 af Average Runoff Depth = 2.13"  
79.72% Pervious = 1.553 ac 20.28% Impervious = 0.395 ac

**384112\_Existing Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 9

**Summary for Subcatchment E-1:**

Runoff = 2.04 cfs @ 12.22 hrs, Volume= 0.163 af, Depth= 2.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 8,238	98	Impervious
* 30,855	39	Pervious
39,093		Weighted Average
30,855	39	78.93% Pervious Area
8,238	98	21.07% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
1.7	150	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.2	200	Total			

**Summary for Subcatchment E-2:**

Runoff = 2.22 cfs @ 12.23 hrs, Volume= 0.183 af, Depth= 2.09"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 100-Year Rainfall=7.30"

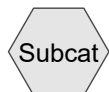
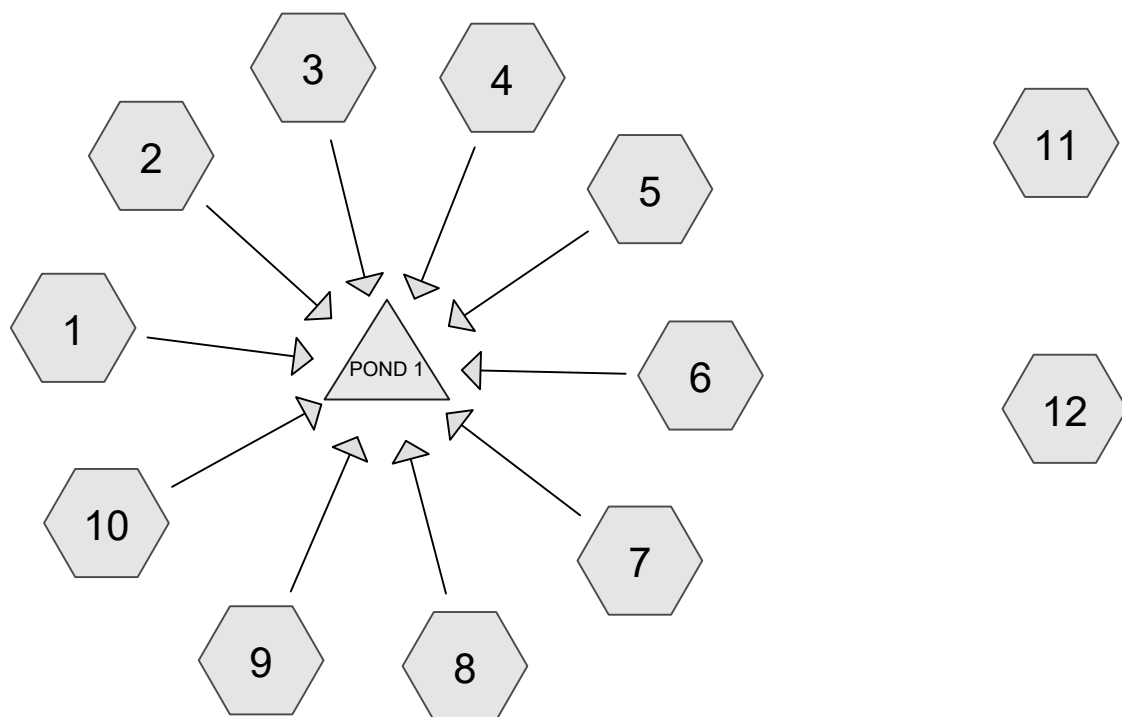
Area (sf)	CN	Description
* 8,970	98	Impervious
* 36,800	39	Pervious
45,770		Weighted Average
36,800	39	80.40% Pervious Area
8,970	98	19.60% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
11.5	50	0.0100	0.07		<b>Sheet Flow,</b> Grass: Dense n= 0.240 P2= 2.84"
2.2	200	0.0100	1.50		<b>Shallow Concentrated Flow,</b> Grassed Waterway Kv= 15.0 fps
13.7	250	Total			

# APPENDIX 2

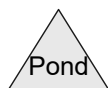
Proposed Conditions  
(1-, 10-, 25- & 100-year Storm Events)



Subcat



Reach



Pond



Link

**Routing Diagram for 384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson, Printed 8/28/2018

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC



**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

*MSE 24-hr 3 1-Year Rainfall=2.46"*

Printed 8/28/2018

Page 2

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1:	Runoff Area=12,065 sf 74.05% Impervious Runoff Depth=1.65" Tc=7.0 min CN=WQ Runoff=0.70 cfs 0.038 af
Subcatchment 2:	Runoff Area=8,408 sf 61.50% Impervious Runoff Depth=1.37" Tc=7.0 min CN=WQ Runoff=0.40 cfs 0.022 af
Subcatchment 3:	Runoff Area=7,420 sf 64.31% Impervious Runoff Depth=1.43" Tc=7.0 min CN=WQ Runoff=0.37 cfs 0.020 af
Subcatchment 4:	Runoff Area=11,527 sf 97.34% Impervious Runoff Depth=2.17" Tc=7.0 min CN=WQ Runoff=0.87 cfs 0.048 af
Subcatchment 5:	Runoff Area=5,506 sf 95.02% Impervious Runoff Depth=2.12" Tc=7.0 min CN=WQ Runoff=0.41 cfs 0.022 af
Subcatchment 6:	Runoff Area=6,449 sf 87.11% Impervious Runoff Depth=1.94" Tc=7.0 min CN=WQ Runoff=0.44 cfs 0.024 af
Subcatchment 7:	Runoff Area=8,836 sf 81.71% Impervious Runoff Depth=1.82" Tc=7.0 min CN=WQ Runoff=0.56 cfs 0.031 af
Subcatchment 8:	Runoff Area=11,499 sf 79.26% Impervious Runoff Depth=1.77" Tc=7.0 min CN=WQ Runoff=0.71 cfs 0.039 af
Subcatchment 9:	Runoff Area=6,013 sf 0.00% Impervious Runoff Depth=0.00" Tc=7.0 min CN=39 Runoff=0.00 cfs 0.000 af
Subcatchment 10:	Runoff Area=4,540 sf 0.00% Impervious Runoff Depth=0.00" Tc=7.0 min CN=39 Runoff=0.00 cfs 0.000 af
Subcatchment 11:	Runoff Area=1,318 sf 46.59% Impervious Runoff Depth=1.04" Tc=7.0 min CN=WQ Runoff=0.05 cfs 0.003 af
Subcatchment 12:	Runoff Area=1,283 sf 47.86% Impervious Runoff Depth=1.07" Tc=7.0 min CN=WQ Runoff=0.05 cfs 0.003 af
Pond POND 1:	Peak Elev=909.62' Storage=4,325 cf Inflow=4.47 cfs 0.244 af Outflow=0.89 cfs 0.244 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.250 af Average Runoff Depth = 1.54"  
 31.06% Pervious = 0.605 ac 68.94% Impervious = 1.343 ac

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 3

**Summary for Subcatchment 1:**

Runoff = 0.70 cfs @ 12.14 hrs, Volume= 0.038 af, Depth= 1.65"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 8,934	98	Impervious
* 3,131	39	Pervious
12,065		Weighted Average
3,131	39	25.95% Pervious Area
8,934	98	74.05% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 2:**

Runoff = 0.40 cfs @ 12.14 hrs, Volume= 0.022 af, Depth= 1.37"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 5,171	98	Impervious
* 3,237	39	Pervious
8,408		Weighted Average
3,237	39	38.50% Pervious Area
5,171	98	61.50% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 3:**

Runoff = 0.37 cfs @ 12.14 hrs, Volume= 0.020 af, Depth= 1.43"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 4,772	98	Impervious
* 2,648	39	Pervious
7,420		Weighted Average
2,648	39	35.69% Pervious Area
4,772	98	64.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 4:**

Runoff = 0.87 cfs @ 12.14 hrs, Volume= 0.048 af, Depth= 2.17"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 1-Year Rainfall=2.46"

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 4

Area (sf)	CN	Description
* 11,220	98	Impervious
* 307	39	Pervious
11,527		Weighted Average
307	39	2.66% Pervious Area
11,220	98	97.34% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 5:**

Runoff = 0.41 cfs @ 12.14 hrs, Volume= 0.022 af, Depth= 2.12"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 5,232	98	Impervious
* 274	39	Pervious
5,506		Weighted Average
274	39	4.98% Pervious Area
5,232	98	95.02% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 6:**

Runoff = 0.44 cfs @ 12.14 hrs, Volume= 0.024 af, Depth= 1.94"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 5,618	98	Impervious
* 831	39	Pervious
6,449		Weighted Average
831	39	12.89% Pervious Area
5,618	98	87.11% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 7:**

Runoff = 0.56 cfs @ 12.14 hrs, Volume= 0.031 af, Depth= 1.82"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 7,220	98	Impervious
* 1,616	39	Pervious
8,836		Weighted Average
1,616	39	18.29% Pervious Area
7,220	98	81.71% Impervious Area

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 5

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 8:**

Runoff = 0.71 cfs @ 12.14 hrs, Volume= 0.039 af, Depth= 1.77"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 9,114	98	Impervious
* 2,385	39	Pervious
11,499		Weighted Average
2,385	39	20.74% Pervious Area
9,114	98	79.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 9:**

Runoff = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Depth= 0.00"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 6,013	39	Pervious
6,013	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 10:**

Runoff = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Depth= 0.00"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 4,540	39	Pervious
4,540	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 11:**

Runoff = 0.05 cfs @ 12.14 hrs, Volume= 0.003 af, Depth= 1.04"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 6

Area (sf)	CN	Description
* 614	98	Impervious
* 704	39	Pervious
1,318		Weighted Average
704	39	53.41% Pervious Area
614	98	46.59% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 12:**

Runoff = 0.05 cfs @ 12.14 hrs, Volume= 0.003 af, Depth= 1.07"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 1-Year Rainfall=2.46"

Area (sf)	CN	Description
* 614	98	Impervious
* 669	39	Pervious
1,283		Weighted Average
669	39	52.14% Pervious Area
614	98	47.86% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Pond POND 1:**

Inflow Area = 1.888 ac, 69.63% Impervious, Inflow Depth = 1.55" for 1-Year event  
 Inflow = 4.47 cfs @ 12.14 hrs, Volume= 0.244 af  
 Outflow = 0.89 cfs @ 12.43 hrs, Volume= 0.244 af, Atten= 80%, Lag= 17.7 min  
 Primary = 0.89 cfs @ 12.43 hrs, Volume= 0.244 af

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Starting Elev= 908.18' Surf.Area= 937 sf Storage= 311 cf  
 Peak Elev= 909.62' @ 12.43 hrs Surf.Area= 3,893 sf Storage= 4,325 cf (4,014 cf above start)

Plug-Flow detention time= 79.8 min calculated for 0.237 af (97% of inflow)  
 Center-of-Mass det. time= 51.5 min ( 808.9 - 757.3 )

Volume	Invert	Avail.Storage	Storage Description
#1	908.50'	25,508 cf	Basin 1A (Prismatic) Listed below (Recalc)
#2	908.50'	14,529 cf	Basin 1B (Prismatic) Listed below (Recalc)
#3	907.72'	1,196 cf	18.0" Round Storm Pipe L= 677.0'
		41,233 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	1,084	0	0
909.00	1,351	609	609
910.00	2,472	1,912	2,520
910.80	3,896	2,547	5,067
911.00	8,836	1,273	6,341
912.00	29,498	19,167	25,508

# 384112\_Proposed Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 1-Year Rainfall=2.46"

Printed 8/28/2018

Page 7

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	771	0	0
909.00	1,256	507	507
910.00	2,211	1,734	2,240
910.80	2,993	2,082	4,322
911.00	3,886	688	5,010
912.00	15,152	9,519	14,529

Device	Routing	Invert	Outlet Devices
#1	Primary	908.18'	<b>10.0" Round Culvert</b> L= 19.0' Ke= 0.500 Inlet / Outlet Invert= 908.18' / 908.09' S= 0.0047 ' / Cc= 0.900 n= 0.012, Flow Area= 0.55 sf
#2	Device 1	908.18'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#3	Device 1	909.55'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#4	Device 1	910.26'	<b>4.0" Vert. Orifice/Grate</b> C= 0.600
#5	Device 1	910.68'	<b>2.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=0.89 cfs @ 12.43 hrs HW=909.62' (Free Discharge)

- 1=Culvert (Passes 0.89 cfs of 2.49 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 0.87 cfs @ 5.30 fps)
- 3=Orifice/Grate (Orifice Controls 0.01 cfs @ 0.89 fps)
- 4=Orifice/Grate ( Controls 0.00 cfs)
- 5=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

*MSE 24-hr 3 10-Year Rainfall=4.24"*

Printed 8/28/2018

Page 8

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1:	Runoff Area=12,065 sf 74.05% Impervious Runoff Depth=2.98" Tc=7.0 min CN=WQ Runoff=1.22 cfs 0.069 af
Subcatchment 2:	Runoff Area=8,408 sf 61.50% Impervious Runoff Depth=2.49" Tc=7.0 min CN=WQ Runoff=0.70 cfs 0.040 af
Subcatchment 3:	Runoff Area=7,420 sf 64.31% Impervious Runoff Depth=2.60" Tc=7.0 min CN=WQ Runoff=0.65 cfs 0.037 af
Subcatchment 4:	Runoff Area=11,527 sf 97.34% Impervious Runoff Depth=3.90" Tc=7.0 min CN=WQ Runoff=1.53 cfs 0.086 af
Subcatchment 5:	Runoff Area=5,506 sf 95.02% Impervious Runoff Depth=3.81" Tc=7.0 min CN=WQ Runoff=0.71 cfs 0.040 af
Subcatchment 6:	Runoff Area=6,449 sf 87.11% Impervious Runoff Depth=3.50" Tc=7.0 min CN=WQ Runoff=0.76 cfs 0.043 af
Subcatchment 7:	Runoff Area=8,836 sf 81.71% Impervious Runoff Depth=3.29" Tc=7.0 min CN=WQ Runoff=0.98 cfs 0.056 af
Subcatchment 8:	Runoff Area=11,499 sf 79.26% Impervious Runoff Depth=3.19" Tc=7.0 min CN=WQ Runoff=1.24 cfs 0.070 af
Subcatchment 9:	Runoff Area=6,013 sf 0.00% Impervious Runoff Depth=0.07" Tc=7.0 min CN=39 Runoff=0.00 cfs 0.001 af
Subcatchment 10:	Runoff Area=4,540 sf 0.00% Impervious Runoff Depth=0.07" Tc=7.0 min CN=39 Runoff=0.00 cfs 0.001 af
Subcatchment 11:	Runoff Area=1,318 sf 46.59% Impervious Runoff Depth=1.90" Tc=7.0 min CN=WQ Runoff=0.08 cfs 0.005 af
Subcatchment 12:	Runoff Area=1,283 sf 47.86% Impervious Runoff Depth=1.95" Tc=7.0 min CN=WQ Runoff=0.08 cfs 0.005 af
Pond POND 1:	Peak Elev=910.33' Storage=7,646 cf Inflow=7.80 cfs 0.442 af Outflow=1.70 cfs 0.442 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.452 af Average Runoff Depth = 2.78"  
 31.06% Pervious = 0.605 ac 68.94% Impervious = 1.343 ac

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 9

**Summary for Subcatchment 1:**

Runoff = 1.22 cfs @ 12.14 hrs, Volume= 0.069 af, Depth= 2.98"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 10-Year Rainfall=4.24"

	Area (sf)	CN	Description
*	8,934	98	Impervious
*	3,131	39	Pervious
	12,065		Weighted Average
	3,131	39	25.95% Pervious Area
	8,934	98	74.05% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 2:**

Runoff = 0.70 cfs @ 12.14 hrs, Volume= 0.040 af, Depth= 2.49"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 10-Year Rainfall=4.24"

	Area (sf)	CN	Description
*	5,171	98	Impervious
*	3,237	39	Pervious
	8,408		Weighted Average
	3,237	39	38.50% Pervious Area
	5,171	98	61.50% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 3:**

Runoff = 0.65 cfs @ 12.14 hrs, Volume= 0.037 af, Depth= 2.60"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 10-Year Rainfall=4.24"

	Area (sf)	CN	Description
*	4,772	98	Impervious
*	2,648	39	Pervious
	7,420		Weighted Average
	2,648	39	35.69% Pervious Area
	4,772	98	64.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 4:**

Runoff = 1.53 cfs @ 12.14 hrs, Volume= 0.086 af, Depth= 3.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 10-Year Rainfall=4.24"



**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 10

Area (sf)	CN	Description
* 11,220	98	Impervious
* 307	39	Pervious
11,527		Weighted Average
307	39	2.66% Pervious Area
11,220	98	97.34% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 5:**

Runoff = 0.71 cfs @ 12.14 hrs, Volume= 0.040 af, Depth= 3.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 5,232	98	Impervious
* 274	39	Pervious
5,506		Weighted Average
274	39	4.98% Pervious Area
5,232	98	95.02% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 6:**

Runoff = 0.76 cfs @ 12.14 hrs, Volume= 0.043 af, Depth= 3.50"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 5,618	98	Impervious
* 831	39	Pervious
6,449		Weighted Average
831	39	12.89% Pervious Area
5,618	98	87.11% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 7:**

Runoff = 0.98 cfs @ 12.14 hrs, Volume= 0.056 af, Depth= 3.29"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 7,220	98	Impervious
* 1,616	39	Pervious
8,836		Weighted Average
1,616	39	18.29% Pervious Area
7,220	98	81.71% Impervious Area

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 11

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 8:**

Runoff = 1.24 cfs @ 12.14 hrs, Volume= 0.070 af, Depth= 3.19"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 9,114	98	Impervious
* 2,385	39	Pervious
11,499		Weighted Average
2,385	39	20.74% Pervious Area
9,114	98	79.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 9:**

Runoff = 0.00 cfs @ 13.26 hrs, Volume= 0.001 af, Depth= 0.07"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 6,013	39	Pervious
6,013	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 10:**

Runoff = 0.00 cfs @ 13.26 hrs, Volume= 0.001 af, Depth= 0.07"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 4,540	39	Pervious
4,540	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 11:**

Runoff = 0.08 cfs @ 12.14 hrs, Volume= 0.005 af, Depth= 1.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 12

Area (sf)	CN	Description
* 614	98	Impervious
* 704	39	Pervious
1,318		Weighted Average
704	39	53.41% Pervious Area
614	98	46.59% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 12:**

Runoff = 0.08 cfs @ 12.14 hrs, Volume= 0.005 af, Depth= 1.95"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 10-Year Rainfall=4.24"

Area (sf)	CN	Description
* 614	98	Impervious
* 669	39	Pervious
1,283		Weighted Average
669	39	52.14% Pervious Area
614	98	47.86% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Pond POND 1:**

Inflow Area = 1.888 ac, 69.63% Impervious, Inflow Depth = 2.81" for 10-Year event  
 Inflow = 7.80 cfs @ 12.14 hrs, Volume= 0.442 af  
 Outflow = 1.70 cfs @ 12.41 hrs, Volume= 0.442 af, Atten= 78%, Lag= 16.2 min  
 Primary = 1.70 cfs @ 12.41 hrs, Volume= 0.442 af

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Starting Elev= 908.18' Surf.Area= 937 sf Storage= 311 cf  
 Peak Elev= 910.33' @ 12.41 hrs Surf.Area= 5,590 sf Storage= 7,646 cf (7,335 cf above start)

Plug-Flow detention time= 72.9 min calculated for 0.434 af (98% of inflow)  
 Center-of-Mass det. time= 55.3 min ( 805.8 - 750.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	908.50'	25,508 cf	Basin 1A (Prismatic) Listed below (Recalc)
#2	908.50'	14,529 cf	Basin 1B (Prismatic) Listed below (Recalc)
#3	907.72'	1,196 cf	18.0" Round Storm Pipe L= 677.0'
		41,233 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	1,084	0	0
909.00	1,351	609	609
910.00	2,472	1,912	2,520
910.80	3,896	2,547	5,067
911.00	8,836	1,273	6,341
912.00	29,498	19,167	25,508

# 384112\_Proposed Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 10-Year Rainfall=4.24"

Printed 8/28/2018

Page 13

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	771	0	0
909.00	1,256	507	507
910.00	2,211	1,734	2,240
910.80	2,993	2,082	4,322
911.00	3,886	688	5,010
912.00	15,152	9,519	14,529

Device	Routing	Invert	Outlet Devices
#1	Primary	908.18'	<b>10.0" Round Culvert</b> L= 19.0' Ke= 0.500 Inlet / Outlet Invert= 908.18' / 908.09' S= 0.0047 ' / Cc= 0.900 n= 0.012, Flow Area= 0.55 sf
#2	Device 1	908.18'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#3	Device 1	909.55'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#4	Device 1	910.26'	<b>4.0" Vert. Orifice/Grate</b> C= 0.600
#5	Device 1	910.68'	<b>2.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=1.70 cfs @ 12.41 hrs HW=910.33' (Free Discharge)

- 1=Culvert (Passes 1.70 cfs of 3.46 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 1.10 cfs @ 6.67 fps)
- 3=Orifice/Grate (Orifice Controls 0.59 cfs @ 3.57 fps)
- 4=Orifice/Grate (Orifice Controls 0.01 cfs @ 0.89 fps)
- 5=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

*MSE 24-hr 3 25-Year Rainfall=5.32"*

Printed 8/28/2018

Page 14

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1:	Runoff Area=12,065 sf 74.05% Impervious Runoff Depth=3.83" Tc=7.0 min CN=WQ Runoff=1.53 cfs 0.088 af
Subcatchment 2:	Runoff Area=8,408 sf 61.50% Impervious Runoff Depth=3.23" Tc=7.0 min CN=WQ Runoff=0.89 cfs 0.052 af
Subcatchment 3:	Runoff Area=7,420 sf 64.31% Impervious Runoff Depth=3.36" Tc=7.0 min CN=WQ Runoff=0.82 cfs 0.048 af
Subcatchment 4:	Runoff Area=11,527 sf 97.34% Impervious Runoff Depth=4.95" Tc=7.0 min CN=WQ Runoff=1.92 cfs 0.109 af
Subcatchment 5:	Runoff Area=5,506 sf 95.02% Impervious Runoff Depth=4.84" Tc=7.0 min CN=WQ Runoff=0.90 cfs 0.051 af
Subcatchment 6:	Runoff Area=6,449 sf 87.11% Impervious Runoff Depth=4.46" Tc=7.0 min CN=WQ Runoff=0.96 cfs 0.055 af
Subcatchment 7:	Runoff Area=8,836 sf 81.71% Impervious Runoff Depth=4.20" Tc=7.0 min CN=WQ Runoff=1.24 cfs 0.071 af
Subcatchment 8:	Runoff Area=11,499 sf 79.26% Impervious Runoff Depth=4.08" Tc=7.0 min CN=WQ Runoff=1.56 cfs 0.090 af
Subcatchment 9:	Runoff Area=6,013 sf 0.00% Impervious Runoff Depth=0.27" Tc=7.0 min CN=39 Runoff=0.02 cfs 0.003 af
Subcatchment 10:	Runoff Area=4,540 sf 0.00% Impervious Runoff Depth=0.27" Tc=7.0 min CN=39 Runoff=0.01 cfs 0.002 af
Subcatchment 11:	Runoff Area=1,318 sf 46.59% Impervious Runoff Depth=2.51" Tc=7.0 min CN=WQ Runoff=0.11 cfs 0.006 af
Subcatchment 12:	Runoff Area=1,283 sf 47.86% Impervious Runoff Depth=2.57" Tc=7.0 min CN=WQ Runoff=0.11 cfs 0.006 af
Pond POND 1:	Peak Elev=910.68' Storage=9,766 cf Inflow=9.82 cfs 0.570 af Outflow=2.16 cfs 0.570 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.582 af Average Runoff Depth = 3.59"  
 31.06% Pervious = 0.605 ac 68.94% Impervious = 1.343 ac

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 15

**Summary for Subcatchment 1:**

Runoff = 1.53 cfs @ 12.14 hrs, Volume= 0.088 af, Depth= 3.83"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 25-Year Rainfall=5.32"

	Area (sf)	CN	Description
*	8,934	98	Impervious
*	3,131	39	Pervious
	12,065		Weighted Average
	3,131	39	25.95% Pervious Area
	8,934	98	74.05% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 2:**

Runoff = 0.89 cfs @ 12.14 hrs, Volume= 0.052 af, Depth= 3.23"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 25-Year Rainfall=5.32"

	Area (sf)	CN	Description
*	5,171	98	Impervious
*	3,237	39	Pervious
	8,408		Weighted Average
	3,237	39	38.50% Pervious Area
	5,171	98	61.50% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 3:**

Runoff = 0.82 cfs @ 12.14 hrs, Volume= 0.048 af, Depth= 3.36"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 25-Year Rainfall=5.32"

	Area (sf)	CN	Description
*	4,772	98	Impervious
*	2,648	39	Pervious
	7,420		Weighted Average
	2,648	39	35.69% Pervious Area
	4,772	98	64.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 4:**

Runoff = 1.92 cfs @ 12.14 hrs, Volume= 0.109 af, Depth= 4.95"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 25-Year Rainfall=5.32"

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 16

Area (sf)	CN	Description
* 11,220	98	Impervious
* 307	39	Pervious
11,527		Weighted Average
307	39	2.66% Pervious Area
11,220	98	97.34% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 5:**

Runoff = 0.90 cfs @ 12.14 hrs, Volume= 0.051 af, Depth= 4.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 5,232	98	Impervious
* 274	39	Pervious
5,506		Weighted Average
274	39	4.98% Pervious Area
5,232	98	95.02% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 6:**

Runoff = 0.96 cfs @ 12.14 hrs, Volume= 0.055 af, Depth= 4.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 5,618	98	Impervious
* 831	39	Pervious
6,449		Weighted Average
831	39	12.89% Pervious Area
5,618	98	87.11% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 7:**

Runoff = 1.24 cfs @ 12.14 hrs, Volume= 0.071 af, Depth= 4.20"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 7,220	98	Impervious
* 1,616	39	Pervious
8,836		Weighted Average
1,616	39	18.29% Pervious Area
7,220	98	81.71% Impervious Area

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 17

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 8:**

Runoff = 1.56 cfs @ 12.14 hrs, Volume= 0.090 af, Depth= 4.08"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 9,114	98	Impervious
* 2,385	39	Pervious
11,499		Weighted Average
2,385	39	20.74% Pervious Area
9,114	98	79.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 9:**

Runoff = 0.02 cfs @ 12.36 hrs, Volume= 0.003 af, Depth= 0.27"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 6,013	39	Pervious
6,013	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 10:**

Runoff = 0.01 cfs @ 12.36 hrs, Volume= 0.002 af, Depth= 0.27"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 4,540	39	Pervious
4,540	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 11:**

Runoff = 0.11 cfs @ 12.14 hrs, Volume= 0.006 af, Depth= 2.51"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"



**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 18

Area (sf)	CN	Description
* 614	98	Impervious
* 704	39	Pervious
1,318		Weighted Average
704	39	53.41% Pervious Area
614	98	46.59% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 12:**

Runoff = 0.11 cfs @ 12.14 hrs, Volume= 0.006 af, Depth= 2.57"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 25-Year Rainfall=5.32"

Area (sf)	CN	Description
* 614	98	Impervious
* 669	39	Pervious
1,283		Weighted Average
669	39	52.14% Pervious Area
614	98	47.86% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Pond POND 1:**

Inflow Area = 1.888 ac, 69.63% Impervious, Inflow Depth = 3.62" for 25-Year event  
 Inflow = 9.82 cfs @ 12.14 hrs, Volume= 0.570 af  
 Outflow = 2.16 cfs @ 12.41 hrs, Volume= 0.570 af, Atten= 78%, Lag= 16.5 min  
 Primary = 2.16 cfs @ 12.41 hrs, Volume= 0.570 af

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Starting Elev= 908.18' Surf.Area= 937 sf Storage= 311 cf  
 Peak Elev= 910.68' @ 12.41 hrs Surf.Area= 6,553 sf Storage= 9,766 cf (9,455 cf above start)

Plug-Flow detention time= 71.3 min calculated for 0.562 af (99% of inflow)  
 Center-of-Mass det. time= 57.0 min ( 806.4 - 749.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	908.50'	25,508 cf	Basin 1A (Prismatic) Listed below (Recalc)
#2	908.50'	14,529 cf	Basin 1B (Prismatic) Listed below (Recalc)
#3	907.72'	1,196 cf	18.0" Round Storm Pipe L= 677.0'
		41,233 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	1,084	0	0
909.00	1,351	609	609
910.00	2,472	1,912	2,520
910.80	3,896	2,547	5,067
911.00	8,836	1,273	6,341
912.00	29,498	19,167	25,508

### 384112\_Proposed Conditions (8-28-18)

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 25-Year Rainfall=5.32"

Printed 8/28/2018

Page 19

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	771	0	0
909.00	1,256	507	507
910.00	2,211	1,734	2,240
910.80	2,993	2,082	4,322
911.00	3,886	688	5,010
912.00	15,152	9,519	14,529

Device	Routing	Invert	Outlet Devices
#1	Primary	908.18'	<b>10.0" Round Culvert</b> L= 19.0' Ke= 0.500 Inlet / Outlet Invert= 908.18' / 908.09' S= 0.0047 ' / Cc= 0.900 n= 0.012, Flow Area= 0.55 sf
#2	Device 1	908.18'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#3	Device 1	909.55'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#4	Device 1	910.26'	<b>4.0" Vert. Orifice/Grate</b> C= 0.600
#5	Device 1	910.68'	<b>2.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=2.16 cfs @ 12.41 hrs HW=910.68' (Free Discharge)

- 1=Culvert (Passes 2.16 cfs of 3.79 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 1.20 cfs @ 7.25 fps)
- 3=Orifice/Grate (Orifice Controls 0.75 cfs @ 4.56 fps)
- 4=Orifice/Grate (Orifice Controls 0.21 cfs @ 2.41 fps)
- 5=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

*MSE 24-hr 3 100-Year Rainfall=7.30"*

Printed 8/28/2018

Page 20

Time span=0.00-36.00 hrs, dt=0.05 hrs, 721 points  
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1:	Runoff Area=12,065 sf 74.05% Impervious Runoff Depth=5.46" Tc=7.0 min CN=WQ Runoff=2.17 cfs 0.126 af
Subcatchment 2:	Runoff Area=8,408 sf 61.50% Impervious Runoff Depth=4.68" Tc=7.0 min CN=WQ Runoff=1.29 cfs 0.075 af
Subcatchment 3:	Runoff Area=7,420 sf 64.31% Impervious Runoff Depth=4.85" Tc=7.0 min CN=WQ Runoff=1.18 cfs 0.069 af
Subcatchment 4:	Runoff Area=11,527 sf 97.34% Impervious Runoff Depth=6.90" Tc=7.0 min CN=WQ Runoff=2.65 cfs 0.152 af
Subcatchment 5:	Runoff Area=5,506 sf 95.02% Impervious Runoff Depth=6.75" Tc=7.0 min CN=WQ Runoff=1.24 cfs 0.071 af
Subcatchment 6:	Runoff Area=6,449 sf 87.11% Impervious Runoff Depth=6.26" Tc=7.0 min CN=WQ Runoff=1.34 cfs 0.077 af
Subcatchment 7:	Runoff Area=8,836 sf 81.71% Impervious Runoff Depth=5.93" Tc=7.0 min CN=WQ Runoff=1.73 cfs 0.100 af
Subcatchment 8:	Runoff Area=11,499 sf 79.26% Impervious Runoff Depth=5.78" Tc=7.0 min CN=WQ Runoff=2.20 cfs 0.127 af
Subcatchment 9:	Runoff Area=6,013 sf 0.00% Impervious Runoff Depth=0.88" Tc=7.0 min CN=39 Runoff=0.14 cfs 0.010 af
Subcatchment 10:	Runoff Area=4,540 sf 0.00% Impervious Runoff Depth=0.88" Tc=7.0 min CN=39 Runoff=0.11 cfs 0.008 af
Subcatchment 11:	Runoff Area=1,318 sf 46.59% Impervious Runoff Depth=3.76" Tc=7.0 min CN=WQ Runoff=0.16 cfs 0.009 af
Subcatchment 12:	Runoff Area=1,283 sf 47.86% Impervious Runoff Depth=3.84" Tc=7.0 min CN=WQ Runoff=0.16 cfs 0.009 af
Pond POND 1:	Peak Elev=911.06' Storage=13,386 cf Inflow=14.01 cfs 0.816 af Outflow=3.90 cfs 0.816 af

Total Runoff Area = 1.948 ac Runoff Volume = 0.835 af Average Runoff Depth = 5.14"  
 31.06% Pervious = 0.605 ac 68.94% Impervious = 1.343 ac

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 21

**Summary for Subcatchment 1:**

Runoff = 2.17 cfs @ 12.14 hrs, Volume= 0.126 af, Depth= 5.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 100-Year Rainfall=7.30"

	Area (sf)	CN	Description
*	8,934	98	Impervious
*	3,131	39	Pervious
	12,065		Weighted Average
	3,131	39	25.95% Pervious Area
	8,934	98	74.05% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 2:**

Runoff = 1.29 cfs @ 12.14 hrs, Volume= 0.075 af, Depth= 4.68"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 100-Year Rainfall=7.30"

	Area (sf)	CN	Description
*	5,171	98	Impervious
*	3,237	39	Pervious
	8,408		Weighted Average
	3,237	39	38.50% Pervious Area
	5,171	98	61.50% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 3:**

Runoff = 1.18 cfs @ 12.14 hrs, Volume= 0.069 af, Depth= 4.85"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 100-Year Rainfall=7.30"

	Area (sf)	CN	Description
*	4,772	98	Impervious
*	2,648	39	Pervious
	7,420		Weighted Average
	2,648	39	35.69% Pervious Area
	4,772	98	64.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 4:**

Runoff = 2.65 cfs @ 12.14 hrs, Volume= 0.152 af, Depth= 6.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs

MSE 24-hr 3 100-Year Rainfall=7.30"

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 22

Area (sf)	CN	Description
* 11,220	98	Impervious
* 307	39	Pervious
11,527		Weighted Average
307	39	2.66% Pervious Area
11,220	98	97.34% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 5:**

Runoff = 1.24 cfs @ 12.14 hrs, Volume= 0.071 af, Depth= 6.75"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 5,232	98	Impervious
* 274	39	Pervious
5,506		Weighted Average
274	39	4.98% Pervious Area
5,232	98	95.02% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 6:**

Runoff = 1.34 cfs @ 12.14 hrs, Volume= 0.077 af, Depth= 6.26"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 5,618	98	Impervious
* 831	39	Pervious
6,449		Weighted Average
831	39	12.89% Pervious Area
5,618	98	87.11% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 7:**

Runoff = 1.73 cfs @ 12.14 hrs, Volume= 0.100 af, Depth= 5.93"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 7,220	98	Impervious
* 1,616	39	Pervious
8,836		Weighted Average
1,616	39	18.29% Pervious Area
7,220	98	81.71% Impervious Area

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 23

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 8:**

Runoff = 2.20 cfs @ 12.14 hrs, Volume= 0.127 af, Depth= 5.78"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 9,114	98	Impervious
* 2,385	39	Pervious
11,499		Weighted Average
2,385	39	20.74% Pervious Area
9,114	98	79.26% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 9:**

Runoff = 0.14 cfs @ 12.17 hrs, Volume= 0.010 af, Depth= 0.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 6,013	39	Pervious
6,013	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 10:**

Runoff = 0.11 cfs @ 12.17 hrs, Volume= 0.008 af, Depth= 0.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 4,540	39	Pervious
4,540	39	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 11:**

Runoff = 0.16 cfs @ 12.14 hrs, Volume= 0.009 af, Depth= 3.76"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 24

Area (sf)	CN	Description
* 614	98	Impervious
* 704	39	Pervious
1,318		Weighted Average
704	39	53.41% Pervious Area
614	98	46.59% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Subcatchment 12:**

Runoff = 0.16 cfs @ 12.14 hrs, Volume= 0.009 af, Depth= 3.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
MSE 24-hr 3 100-Year Rainfall=7.30"

Area (sf)	CN	Description
* 614	98	Impervious
* 669	39	Pervious
1,283		Weighted Average
669	39	52.14% Pervious Area
614	98	47.86% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.0					Direct Entry,

**Summary for Pond POND 1:**

Inflow Area = 1.888 ac, 69.63% Impervious, Inflow Depth = 5.18" for 100-Year event  
 Inflow = 14.01 cfs @ 12.14 hrs, Volume= 0.816 af  
 Outflow = 3.90 cfs @ 12.36 hrs, Volume= 0.816 af, Atten= 72%, Lag= 13.1 min  
 Primary = 3.90 cfs @ 12.36 hrs, Volume= 0.816 af

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.05 hrs  
 Starting Elev= 908.18' Surf.Area= 937 sf Storage= 311 cf  
 Peak Elev= 911.06' @ 12.36 hrs Surf.Area= 14,678 sf Storage= 13,386 cf (13,075 cf above start)

Plug-Flow detention time= 66.2 min calculated for 0.807 af (99% of inflow)  
 Center-of-Mass det. time= 55.7 min ( 804.2 - 748.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	908.50'	25,508 cf	Basin 1A (Prismatic) Listed below (Recalc)
#2	908.50'	14,529 cf	Basin 1B (Prismatic) Listed below (Recalc)
#3	907.72'	1,196 cf	18.0" Round Storm Pipe L= 677.0'
		41,233 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	1,084	0	0
909.00	1,351	609	609
910.00	2,472	1,912	2,520
910.80	3,896	2,547	5,067
911.00	8,836	1,273	6,341
912.00	29,498	19,167	25,508

**384112\_Proposed Conditions (8-28-18)**

Prepared by Hakanson Anderson

HydroCAD® 10.00-22 s/n 01341 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 3 100-Year Rainfall=7.30"

Printed 8/28/2018

Page 25

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
908.50	771	0	0
909.00	1,256	507	507
910.00	2,211	1,734	2,240
910.80	2,993	2,082	4,322
911.00	3,886	688	5,010
912.00	15,152	9,519	14,529

Device	Routing	Invert	Outlet Devices
#1	Primary	908.18'	<b>10.0" Round Culvert</b> L= 19.0' Ke= 0.500 Inlet / Outlet Invert= 908.18' / 908.09' S= 0.0047 ' / Cc= 0.900 n= 0.012, Flow Area= 0.55 sf
#2	Device 1	908.18'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#3	Device 1	909.55'	<b>5.5" Vert. Orifice/Grate</b> C= 0.600
#4	Device 1	910.26'	<b>4.0" Vert. Orifice/Grate</b> C= 0.600
#5	Device 1	910.68'	<b>2.0' long x 0.5' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 Coef. (English) 2.80 2.92 3.08 3.30 3.32

**Primary OutFlow** Max=3.89 cfs @ 12.36 hrs HW=911.06' (Free Discharge)

- 1=Culvert (Passes 3.89 cfs of 4.12 cfs potential flow)
- 2=Orifice/Grate (Orifice Controls 1.29 cfs @ 7.84 fps)
- 3=Orifice/Grate (Orifice Controls 0.90 cfs @ 5.45 fps)
- 4=Orifice/Grate (Orifice Controls 0.33 cfs @ 3.83 fps)
- 5=Broad-Crested Rectangular Weir (Weir Controls 1.37 cfs @ 1.79 fps)



# APPENDIX 3

## SHSAM Summaries

CB/MH #3  
Subcatchments 1, 2, 3 & 10  
Area=0.74 acres  
Impervious=58%  
Hydraulic Length=400'  
Average Slope=2%  
CN (pervious)=39  
TSS Concentration=90 mg/l

Name	Model	Year	Output "Removal" Efficiency (%)	Annual Load (lbs)	Load Removed (lbs)	Deposit (in)	Number of Cleanings
StandardSumps	42	2004	90	184.2	166	1.54	0
StandardSumps	44	2004	95	184.2	175.4	1.63	0
StandardSumps	55	2004	97	184.2	179	1.06	0
StandardSumps	63	2004	96	184.2	176.6	0.73	0
StandardSumps	66	2004	98	184.2	180.9	0.75	0
StandardSumps	86	2004	99	184.2	182	0.42	0
StandardSumps	106	2004	99	184.2	182.5	0.27	0
StandardSumps	42	2005	79	230.1	182.7	1.69	0
StandardSumps	44	2005	89	230.1	204.1	1.89	0
StandardSumps	55	2005	93	230.1	214	1.27	0
StandardSumps	63	2005	90	230.1	207.2	0.85	0
StandardSumps	66	2005	96	230.1	219.6	0.91	0
StandardSumps	86	2005	97	230.1	222.8	0.52	0
StandardSumps	106	2005	98	230.1	224.7	0.33	0
StandardSumps	42	2006	80	133.4	107.1	0.99	0
StandardSumps	44	2006	87	133.4	115.6	1.07	0
StandardSumps	55	2006	90	133.4	119.8	0.71	0
StandardSumps	63	2006	88	133.4	116.8	0.48	0
StandardSumps	66	2006	92	133.4	122.7	0.51	0
StandardSumps	86	2006	94	133.4	124.7	0.29	0
StandardSumps	106	2006	94	133.4	126	0.19	0
StandardSumps	42	2007	78	153.9	120.4	1.12	0
StandardSumps	44	2007	87	153.9	134.4	1.25	0
StandardSumps	55	2007	92	153.9	141.2	0.84	0
StandardSumps	63	2007	89	153.9	136.4	0.56	0
StandardSumps	66	2007	94	153.9	145.3	0.6	0
StandardSumps	86	2007	96	153.9	147.8	0.34	0
StandardSumps	106	2007	97	153.9	149.3	0.22	0
Name	Model	Total Load (lbs)	Total Load Removed (lbs)	Removal Efficiency (%)	Model Height (ft)	Model Diameter (ft)	Pipe Diameter (inches)
StandardSumps	42	702	576	82.1	2	4	18
StandardSumps	44	702	630	89.7	4	4	18
StandardSumps	55	702	654	93.2	5	5	18
StandardSumps	63	702	637	90.8	3	6	18
StandardSumps	66	702	669	95.3	6	6	18
StandardSumps	86	702	677	96.5	6	8	18
StandardSumps	106	702	683	97.3	6	10	18

CB/MH #4  
Subcatchments 4, 5, 6, 7, 8 & 9  
Area=1.14 acres  
Impervious=77%  
Hydraulic Length=400'  
Average Slope=2%  
CN (pervious)=39  
TSS Concentration=90 mg/l

Name	Model	Year	Output "Removal" Efficiency (%)	Annual Load (lbs)	Load Removed (lbs)	Deposit (in)	Number of Cleanings
StandardSumps	42	2004	67	373.7	250.5	2.32	0
StandardSumps	44	2004	81	373.7	302.7	2.81	0
StandardSumps	55	2004	87	373.7	325.8	1.93	0
StandardSumps	63	2004	83	373.7	309.9	1.28	0
StandardSumps	66	2004	91	373.7	339.8	1.4	0
StandardSumps	86	2004	93	373.7	348.3	0.81	0
StandardSumps	106	2004	95	373.7	353.6	0.52	0
StandardSumps	42	2005	52	466.4	240.6	2.23	0
StandardSumps	44	2005	67	466.4	310.7	2.88	0
StandardSumps	55	2005	75	466.4	349.3	2.07	0
StandardSumps	63	2005	69	466.4	322.1	1.33	0
StandardSumps	66	2005	81	466.4	376.7	1.55	0
StandardSumps	86	2005	85	466.4	395.7	0.92	0
StandardSumps	106	2005	88	466.4	408.7	0.61	0
StandardSumps	42	2006	45	270.2	121.2	1.12	0
StandardSumps	44	2006	68	270.2	184.8	1.71	0
StandardSumps	55	2006	77	270.2	207.4	1.23	0
StandardSumps	63	2006	71	270.2	192.5	0.79	0
StandardSumps	66	2006	81	270.2	219.3	0.9	0
StandardSumps	86	2006	84	270.2	226.8	0.53	0
StandardSumps	106	2006	86	270.2	231.9	0.34	0
StandardSumps	42	2007	50	313.5	158.4	1.47	0
StandardSumps	44	2007	66	313.5	205.5	1.91	0
StandardSumps	55	2007	74	313.5	230.7	1.37	0
StandardSumps	63	2007	68	313.5	212.8	0.88	0
StandardSumps	66	2007	79	313.5	248.5	1.02	0
StandardSumps	86	2007	83	313.5	261	0.61	0
StandardSumps	106	2007	86	313.5	269.6	0.4	0
Name	Model	Total Load (lbs)	Total Load Removed (lbs)	Removal Efficiency (%)	Model Height (ft)	Model Diameter (ft)	Pipe Diameter (inches)
StandardSumps	42	1424	771	54.1	2	4	18
StandardSumps	44	1424	1004	70.5	4	4	18
StandardSumps	55	1424	1113	78.2	5	5	18
StandardSumps	63	1424	1037	72.9	3	6	18
StandardSumps	66	1424	1184	83.2	6	6	18
StandardSumps	86	1424	1232	86.5	6	8	18
StandardSumps	106	1424	1264	88.8	6	10	18

# APPENDIX 4

Atlas 14 Rainfall Events



NOAA Atlas 14, Volume 8, Version 2  
Location name: Minneapolis, Minnesota, USA\*  
Latitude: 45.1204°, Longitude: -93.2322°  
Elevation: 910.71 ft\*\*  
\* source: ESRI Maps  
\*\* source: USGS



## POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps\\_&\\_aerials](#)

### PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) <sup>1</sup>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.356 (0.277-0.458)	0.419 (0.326-0.541)	0.526 (0.408-0.680)	0.618 (0.476-0.801)	0.748 (0.562-1.00)	0.852 (0.627-1.15)	0.958 (0.685-1.32)	1.07 (0.737-1.51)	1.22 (0.814-1.76)	1.34 (0.872-1.95)
10-min	0.521 (0.405-0.671)	0.614 (0.477-0.792)	0.770 (0.597-0.996)	0.905 (0.698-1.17)	1.10 (0.823-1.46)	1.25 (0.917-1.68)	1.40 (1.00-1.93)	1.57 (1.08-2.20)	1.79 (1.19-2.57)	1.96 (1.28-2.85)
15-min	0.635 (0.494-0.819)	0.749 (0.582-0.966)	0.940 (0.728-1.21)	1.10 (0.851-1.43)	1.34 (1.00-1.79)	1.52 (1.12-2.05)	1.71 (1.22-2.36)	1.91 (1.32-2.69)	2.18 (1.45-3.14)	2.39 (1.56-3.48)
30-min	0.903 (0.702-1.16)	1.07 (0.831-1.38)	1.35 (1.04-1.74)	1.59 (1.22-2.06)	1.92 (1.44-2.56)	2.18 (1.61-2.95)	2.46 (1.75-3.38)	2.74 (1.89-3.85)	3.12 (2.08-4.48)	3.41 (2.22-4.96)
60-min	1.18 (0.917-1.52)	1.38 (1.08-1.79)	1.75 (1.35-2.26)	2.07 (1.60-2.69)	2.56 (1.94-3.45)	2.97 (2.19-4.03)	3.40 (2.44-4.70)	3.86 (2.67-5.46)	4.51 (3.02-6.52)	5.04 (3.28-7.32)
2-hr	1.45 (1.14-1.86)	1.70 (1.33-2.17)	2.15 (1.68-2.75)	2.56 (1.99-3.30)	3.20 (2.45-4.31)	3.75 (2.80-5.08)	4.34 (3.14-5.99)	4.98 (3.48-7.02)	5.91 (3.99-8.50)	6.66 (4.37-9.62)
3-hr	1.62 (1.27-2.06)	1.88 (1.48-2.39)	2.38 (1.87-3.03)	2.86 (2.23-3.66)	3.62 (2.80-4.88)	4.28 (3.22-5.80)	5.01 (3.66-6.92)	5.83 (4.10-8.21)	7.01 (4.76-10.1)	7.98 (5.27-11.5)
6-hr	1.89 (1.50-2.38)	2.19 (1.74-2.76)	2.78 (2.20-3.51)	3.36 (2.64-4.26)	4.29 (3.35-5.77)	5.12 (3.89-6.91)	6.05 (4.46-8.30)	7.08 (5.03-9.92)	8.59 (5.90-12.3)	9.85 (6.55-14.1)
12-hr	2.15 (1.72-2.69)	2.50 (2.00-3.13)	3.18 (2.54-3.99)	3.84 (3.05-4.83)	4.88 (3.83-6.48)	5.79 (4.43-7.73)	6.79 (5.04-9.24)	7.91 (5.66-11.0)	9.54 (6.59-13.5)	10.9 (7.29-15.5)
24-hr	2.46 (1.99-3.05)	2.84 (2.29-3.53)	3.56 (2.86-4.43)	4.24 (3.40-5.30)	5.32 (4.21-7.00)	6.27 (4.83-8.28)	7.30 (5.46-9.84)	8.44 (6.09-11.6)	10.1 (7.04-14.2)	11.5 (7.76-16.2)
2-day	2.88 (2.35-3.55)	3.23 (2.62-3.97)	3.90 (3.17-4.81)	4.57 (3.69-5.66)	5.65 (4.52-7.39)	6.62 (5.15-8.69)	7.69 (5.81-10.3)	8.88 (6.47-12.2)	10.6 (7.49-14.9)	12.1 (8.25-17.0)
3-day	3.17 (2.59-3.88)	3.51 (2.87-4.29)	4.17 (3.40-5.12)	4.84 (3.93-5.96)	5.93 (4.76-7.70)	6.89 (5.40-9.01)	7.97 (6.06-10.6)	9.19 (6.73-12.5)	11.0 (7.76-15.3)	12.5 (8.54-17.4)
4-day	3.39 (2.78-4.13)	3.75 (3.07-4.57)	4.44 (3.63-5.43)	5.13 (4.17-6.30)	6.23 (5.01-8.04)	7.20 (5.65-9.36)	8.28 (6.30-11.0)	9.48 (6.96-12.9)	11.2 (7.98-15.6)	12.7 (8.74-17.7)
7-day	3.89 (3.22-4.71)	4.38 (3.61-5.30)	5.24 (4.31-6.36)	6.02 (4.93-7.33)	7.19 (5.78-9.12)	8.17 (6.42-10.5)	9.22 (7.03-12.1)	10.4 (7.62-13.9)	12.0 (8.51-16.4)	13.3 (9.18-18.4)
10-day	4.37 (3.63-5.27)	4.95 (4.10-5.97)	5.93 (4.91-7.17)	6.79 (5.58-8.24)	8.02 (6.44-10.1)	9.01 (7.09-11.4)	10.0 (7.68-13.0)	11.1 (8.21-14.8)	12.6 (9.01-17.2)	13.8 (9.62-19.1)
20-day	5.94 (4.97-7.09)	6.66 (5.57-7.96)	7.85 (6.55-9.40)	8.84 (7.33-10.6)	10.2 (8.23-12.6)	11.3 (8.91-14.1)	12.3 (9.47-15.8)	13.4 (9.94-17.6)	14.8 (10.6-20.0)	15.9 (11.2-21.8)
30-day	7.33 (6.17-8.71)	8.18 (6.88-9.73)	9.54 (8.00-11.4)	10.7 (8.89-12.7)	12.2 (9.83-14.9)	13.3 (10.6-16.5)	14.4 (11.1-18.3)	15.5 (11.6-20.3)	17.0 (12.2-22.7)	18.0 (12.7-24.6)
45-day	9.15 (7.74-10.8)	10.2 (8.62-12.1)	11.9 (9.99-14.1)	13.2 (11.0-15.7)	14.9 (12.1-18.1)	16.1 (12.9-19.9)	17.3 (13.4-21.9)	18.5 (13.8-23.9)	19.9 (14.4-26.5)	20.9 (14.8-28.4)
60-day	10.7 (9.11-12.6)	12.0 (10.2-14.1)	13.9 (11.8-16.5)	15.5 (13.0-18.4)	17.4 (14.1-21.0)	18.8 (15.0-23.0)	20.0 (15.5-25.2)	21.2 (15.9-27.3)	22.6 (16.4-29.9)	23.5 (16.7-31.9)
<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.										

[Back to Top](#)

### PF graphical



City of Spring Lake Park  
Engineer's Project Status Report

---

To: Council Members and Staff  
From: Phil Gravel

Re: **Status Report for 10.1.18 Meeting**  
File No.: R-18GEN

---

**Note:** Updated information is shown in *italics*.

**Local Surface Water Management Plan (LSWMP) (193803949).**

*A summary report was presented on September 10<sup>th</sup>. Currently updating the LSWMP based on comments received from the various review agencies.*

**2018 Sanitary Sewer Lining Project (193804547).**

*This project includes sewer lining in the northeast area of the city. Initial sewer cleaning and televising work has been completed. Lining work will begin in October.*

**2017-2018 Street Seal Coat Project (193803783).**

*The 2018 work has been substantially completed. Waiting for billing quantity information from Contractor.*

**Wells 4 and 5 (193804554):** *Contractor is Keys Well Drilling. Preconstruction Conference was held on Sept. 17<sup>th</sup>. The construction schedule calls for autumn work on Well 4 and early winter work on Well 5.*

**Buchanan Street Parking Lot:** *Quote from Dave Perkins Contracting was approved on September 4<sup>th</sup>. Work is progressing. Paving should be completed by October 5<sup>th</sup>.*

**Bituminous Trail Maintenance (Osborne Rd. and Central Avenue):** *The public works staff has prepared the trails and swept them. The slurry seal work was completed on September 25<sup>th</sup>.*

**Cellular Antenna Installations on Water Towers:**

- **Verizon on Arthur Street tower.** *This is a new installation. Construction Drawings were approved from an engineering standpoint on April 24<sup>th</sup>. Lease issues are being discussed.*
- **AT&T on Arthur Street tower.** *This is a replacement/modification project. Revised CDs were received on 9/17/18 and are currently under engineering review. Lease is being reviewed. CWC provided lease comments on 8/3/18.*

**Other issues/projects.**

**Dominium Project.** *A new site walkthrough inspection was completed on September 25<sup>th</sup>. A site punch-list with remaining site improvement work (including street patching) has been prepared.*

**Hy-Vee Project.** *Site grading plan has been reviewed and approved by public works/engineering. A Site utility work Preconstruction Conference was held on September 26<sup>th</sup>.*

**Public Storage Project.** *Plat has been approved. Developer is in the process of obtaining site a permit from the Rice Creek Watershed District.*

Feel free to contact Harlan Olson, Phil Carlson, Jim Engfer, Mark Rolfs, Marc Janovec, Peter Allen, or me if you have any questions or require any additional information.



# **CORRESPONDENCE**





## **North Metro Telecommunications Commission Meeting Talking Points**

September 19, 2018

- ▶ With the start of school, fall sports coverage has begun. In addition to recording games, NMTV also produces a weekly high school sports wrap-up show called Sports Den, and the Coaches and Captains segments that highlight all of the school teams, players and coaches. They also create a short highlight video after each game and post it on YouTube and Facebook.
- ▶ The traveling lecture series provided by NMTV Instructor, Eric Houston, remains popular. Two classes were presented at the Edgewater Senior Center and one at the Anoka County History Center. Both venues have booked additional classes.
- ▶ After over 13 years as NMTV's news producer, Ben Hayle will be leaving us to be Blaine's new Communications Coordinator. While he will be greatly missed this is a great opportunity for him. His replacement will be on board the second week of October.
- ▶ Cable Commission Legal Counsel, Mike Bradley, completed the commissioned model drone ordinance for Cities, and drone usage policies for staff. The documents were emailed to the City Managers. It is not required that the Member Cities adopt a drone ordinance, but having one can address safety and privacy issues when residents use drones. The usage policies are intended to guide NMTV and city staff on usage of drones for staff or city purposes.
- ▶ The impact of CenturyLink's decision to cease promoting the Prism product on current franchise compliance and franchise renewal was considered by the Executive Committee. A recommendation was made to notify CenturyLink that they were in violation of the franchise agreement. CenturyLink staff requested that they have an opportunity to address the issue before action was taken by the Commission. Legal Counsel and staff agreed that tabling the issue until the October meetings was reasonable. The item was tabled.
- ▶ The potential impact of 5G small cell cable on Cities, along with a number of FCC actions were reviewed by Legal Counsel. 5G small cell cable could be the next wave of competition for traditional cable companies. This could significantly impact cable franchising if wireless carriers are not subject to the same cable franchising standards as its wireline competitors. While 5G is wireless to the home, the antennas are connected to backhaul fiber located in the public rights-of-way. If 5G rolls out as quickly and effectively as the companies promise, the move away from traditional cable could increase rapidly. This could decrease franchise fees in the near term. It was recommended that local authorities understand the impact of cable franchising for Cities and that we participate in advocacy with the League of MN Cities, MACTA, and NATOA.

We will also want to educate State and Federal Legislators and participate in relevant FCC dockets.

The FCC recently released a draft Second Further Notice of Proposed Rulemaking (NPRM) that could further decrease franchise fees by treating all in-kind contributions (such as I-Nets, and free TV service to public buildings) as franchise fees. The value of those in-kind contributions could be subtracted from the fees collected by Cities. The Commission will be participating in this docket.

The FCC continues to work to erode local government's control of their rights of way by considering more restrictions on small cell management. In addition to MN State Law on small cells, there have been changes to Pole Make Ready Rules and new local preemption and shot clocks proposed. The FCC has opened multiple dockets that propose to preempt local government authority. The Cable Commission has filed a letter with the FCC opposing the proposed rules

**PLEASE encourage your council members to call me if they have any questions you can't answer. I would be happy to answer any questions they may have. Heidi Arnson at NMTV. Direct line is 763-231-2801. Email is [harnson@northmetrotv.com](mailto:harnson@northmetrotv.com).**